

SOURCE: MENDHAM QUADRANGLE NJ 7.5 MINUTE SERIES USGS MAP, DATED 2019

**KEY MAP**

SCALE: 1" = 2000'±

# PRELIMINARY AND FINAL SITE PLAN

FOR

## V-FEE MENDHAM APARTMENTS, LLC

### PROPOSED MULTI-FAMILY RESIDENTIAL DEVELOPMENT

BLOCK 801, LOT 20  
84-90 EAST MAIN STREET  
BOROUGH OF MENDHAM  
MORRIS COUNTY, NEW JERSEY



Know what's below  
Call before you dig.

**APPLICANT/OWNER**

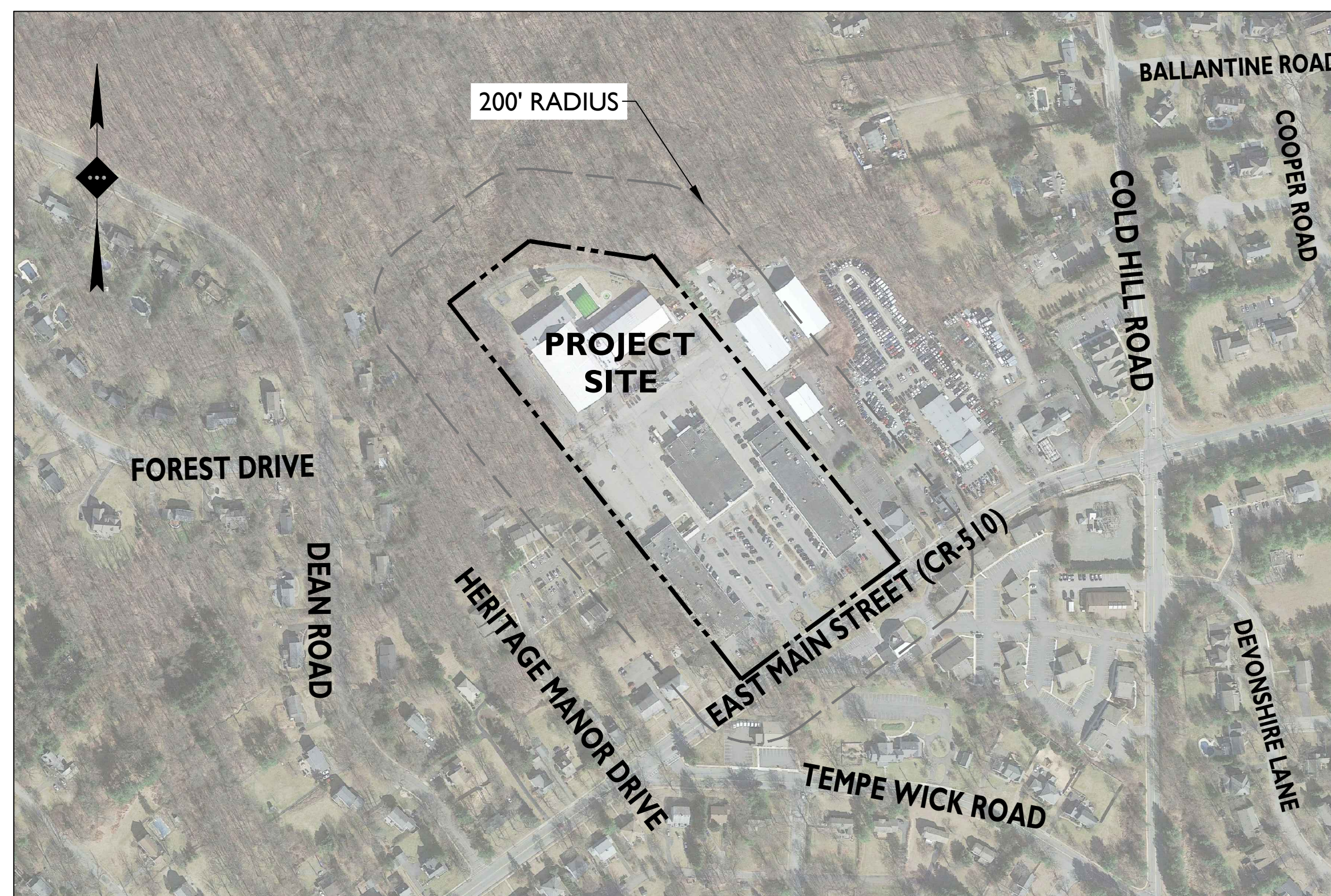
V-FEE MENDHAM APARTMENTS, LLC  
130 ROUTE 10 WEST  
WHIPPANY, NEW JERSEY 07981

**ATTORNEY**

INGLESINO, WEBSTER, WYCISKALA & TAYLOR, LLC  
600 PARSIPPANY ROAD SUITE 204  
PARSIPPANY, NEW JERSEY 07054

**ZONING LEGEND**

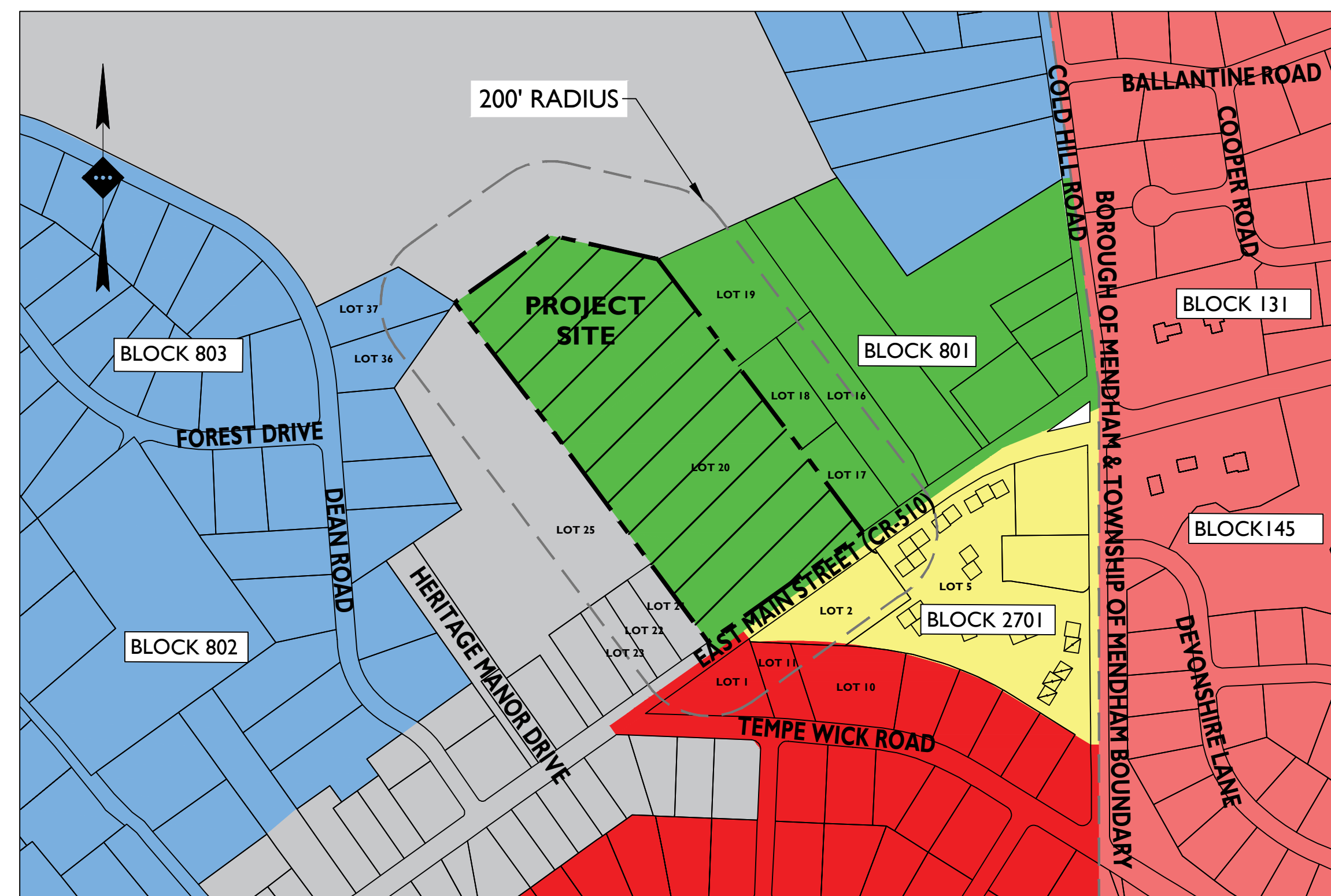
[Grey Box]	1/4 ACRE RESIDENTIAL	[Green Box]	EAST BUSINESS
[Blue Box]	1 ACRE RESIDENTIAL	[Yellow Box]	LIMITED BUSINESS
[Red Box]	1/2 ACRE RESIDENTIAL	[Green with Diagonal Lines Box]	EAST BUSINESS AFFORDABLE HOUSING OVERLAY (EB-AH)
[Pink Box]	SINGLE FAMILY RESIDENTIAL		



SOURCE: GOOGLE EARTH PRO, DATED 02/22/2020

**AERIAL MAP**

SCALE: 1" = 300'±



SOURCE: TAX MAP OBTAINED FROM THE BOROUGH OF MENDHAM'S TAX MAP, SHEET 8, DATED: JULY 2010. ZONING MAP OBTAINED FROM THE BOROUGH OF MENDHAM'S ZONING MAP, DATED: 01/18/2012

**TAX & ZONING MAP**

SCALE: 1" = 300'±

**BOROUGH AGENCIES TO BE NOTIFIED**

JCP&L, c/o FE SERVICE TAX DEPARTMENT PO BOX 1911 MORRISTOWN, NJ 07962-1911
VERIZON, c/o DUFF & PHELPS PO BOX 2749 ADDISON, TX 75001
AT&T 900 ROUTE 202/206 NORTH BEDMINSTER, NJ 07921
PUBLIC SERVICE ELECTRIC & GAS COMPANY 80 PARK PLAZA NEWARK, NJ 07102
MORRIS COUNTY PLANNING BOARD PO BOX 900 MORRISTOWN, NJ 07963-0900
AMERICAN WATER SSC/ GENERAL TAX DEPARTMENT PO BOX 5627 CHERRY HILL, NJ 08034
MENDHAM BOROUGH SEWER UTILITY 35 IRONIA ROAD MENDHAM, NJ 07945
COMCAST 300 RAILROAD AVENUE UNION, NJ 07083
CABLEVISION, ATTN: KATHY BAKER 683 ROUTE 10 RANDOLPH, NJ 07869

**BOROUGH OF MENDHAM 200' PROPERTY OWNERS LIST**

BLOCK	LOT	OWNER	OWNER'S ADDRESS
2701	1	UNITED STATES POSTAL SERVICE	33rd & 8th AVE, NEW YORK, NY 10098
2701	10	CFI MENDHAM I LLC / ETALS	195 NORTH ST, STE 100 TETERBORO, NJ 07098
2701	2	PROVIDENT BANK	P.O. BOX 36558 CHARLOTTE, NC 28236
2701	5-25H	MARINO, ROBERT J	PO BOX 494, MENDHAM, NJ 07945
2701	5-26J	ICONIC MEDICAL & WELLNESS CENTERS	48 KAHODANA ROAD, MORRISTOWN, NJ 07960
2701	5-27J	PHARMACARE INC	PO BOX 452 LEDGEWOOD, NJ 07852
2701	5-28J	PHARMACARE INC	PO BOX 452 LEDGEWOOD, NJ 07852
2701	5-29J	PHARMACARE INC	PO BOX 452 LEDGEWOOD, NJ 07852
501	44	BOROUGH OF MENDHAM	2 W MAIN STREET, MENDHAM, NJ 07945
801	16	HOWARD, MARY	153 OLD STAGECOACH RD, GILBERT, PA 18322
801	17	HOLCOMBE MENDHAM LLC	805 THIRD AVE, 18 TH FLOOR NEW YORK, NY 10022
801	18	RAYTOM ENTERPRISES LLC	96 E MAIN STREET, MENDHAM, NJ 07945
801	19	SCHILLING, HERBERT H JUNIOR	120 MEADOWBROOK ROAD, MORRISTOWN, NJ 07919
801	20	V-FEE REALTY INVESTMENT LLC	130 RT. 10 WHIPPANY, NJ 07981
801	20-T01	PHOENIX TOWER INTERNATIONAL/CO RYAN	P.O. BOX 460667, DEPT 100HOUSTON, TX 77056
801	21	VAZQUEZ, DAVID/ SWANSON, BRANDY	11 GUNTHER ST MENDHAM, NJ 07945
801	22	MENDHAM VILLAGE PROPERTIES LLC	PO BOX 198 IRONIA, NJ 07945
801	23	MENDHAM VILLAGE PROPERTIES LLC	PO BOX 198 IRONIA, NJ 07945
801	25	BOROUGH OF MENDHAM	2 W MAIN STREET, MENDHAM, NJ 07945
801	36	LAM, JAMES/ELISE	27 DEAN ROAD, MENDHAM, NJ 07945
801	37	LONG, DAVID D & ANGELINE G	29 DEAN ROAD, MENDHAM, NJ 07945

**PLAN REFERENCE MATERIALS:**

- THIS PLAN SET REFERENCES THE FOLLOWING DOCUMENTS INCLUDING, BUT NOT LIMITED TO:
  - TAX MAP OBTAINED FROM THE BOROUGH OF MENDHAM'S TAX MAP, SHEET 8, DATED: JULY 2010.
  - ALTA / NSPS LAND TITLE SURVEY PREPARED BY STONEFIELD ENGINEERING & DESIGN, LLC DATED 07/15/2021
  - ARCHITECTURAL PLANS PREPARED BY MARCHETTO HIGGINS STIEVE ARCHITECTURE, P.C. LAST REVISED 07/20/2022
  - ZONING MAP OBTAINED FROM THE BOROUGH OF MENDHAM'S ZONING MAP, DATED: 01/18/2012
  - AERIAL MAP OBTAINED FROM GOOGLE EARTH PRO, DATED 02/22/2020
  - USGS MAP OBTAINED FROM MENDHAM QUADRANGLE NJ 7.5 MINUTE SERIES USGS MAP, DATED 2019
- ALL REFERENCE MATERIAL LISTED ABOVE SHALL BE CONSIDERED A PART OF THIS PLAN SET AND ALL INFORMATION CONTAINED WITHIN THESE MATERIALS SHALL BE UTILIZED IN CONJUNCTION WITH THIS PLAN SET. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN A COPY OF EACH REFERENCE AND REVIEW IT THOROUGHLY PRIOR TO THE START OF CONSTRUCTION.

PLANS PREPARED BY:



Rutherford, NJ · New York, NY · Boston, MA  
Princeton, NJ · Tampa, FL · Detroit, MI  
www.stonefieldeng.com

Headquarters: 92 Park Avenue, Rutherford, NJ 07070  
Phone 201.340.4468 · Fax 201.340.4472

CONSENT TO THE FILING OF THIS SITE PLAN WITH THE PLANNING BOARD OF THE BOROUGH OF MENDHAM

OWNER: \_\_\_\_\_ DATE: \_\_\_\_\_

BOROUGH OF MENDHAM PLANNING BOARD APPROVAL

BOARD CHAIRPERSON: \_\_\_\_\_ DATE: \_\_\_\_\_

BOARD SECRETARY: \_\_\_\_\_ DATE: \_\_\_\_\_

BOARD ENGINEER: \_\_\_\_\_ DATE: \_\_\_\_\_

**SHEET INDEX**

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NO.	DATE	ISSUE	PK	BY	DESCRIPTION
1	10/20/2023	ISSUE			FOR MUNICIPAL SUBMISSION

NOT APPROVED FOR CONSTRUCTION

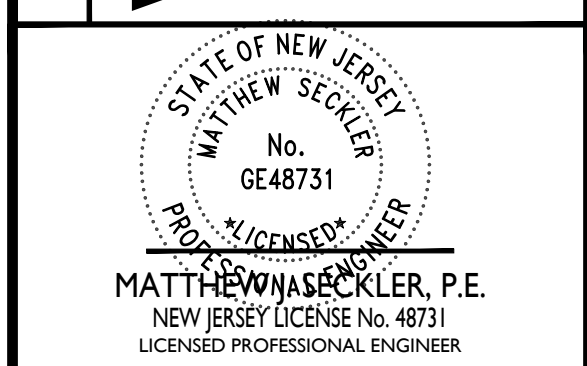


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PRELIMINARY AND FINAL SITE PLAN  
**V-FEE MENDHAM APARTMENTS, LLC**

PROPOSED MULTI-FAMILY RESIDENTIAL DEVELOPMENT

BLOCK 801, LOT 20  
84-90 EAST MAIN STREET  
BOROUGH OF MENDHAM  
MORRIS COUNTY, NEW JERSEY



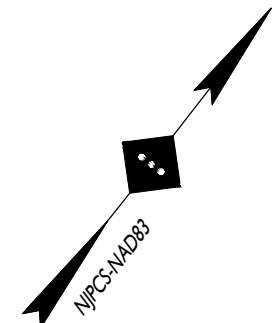
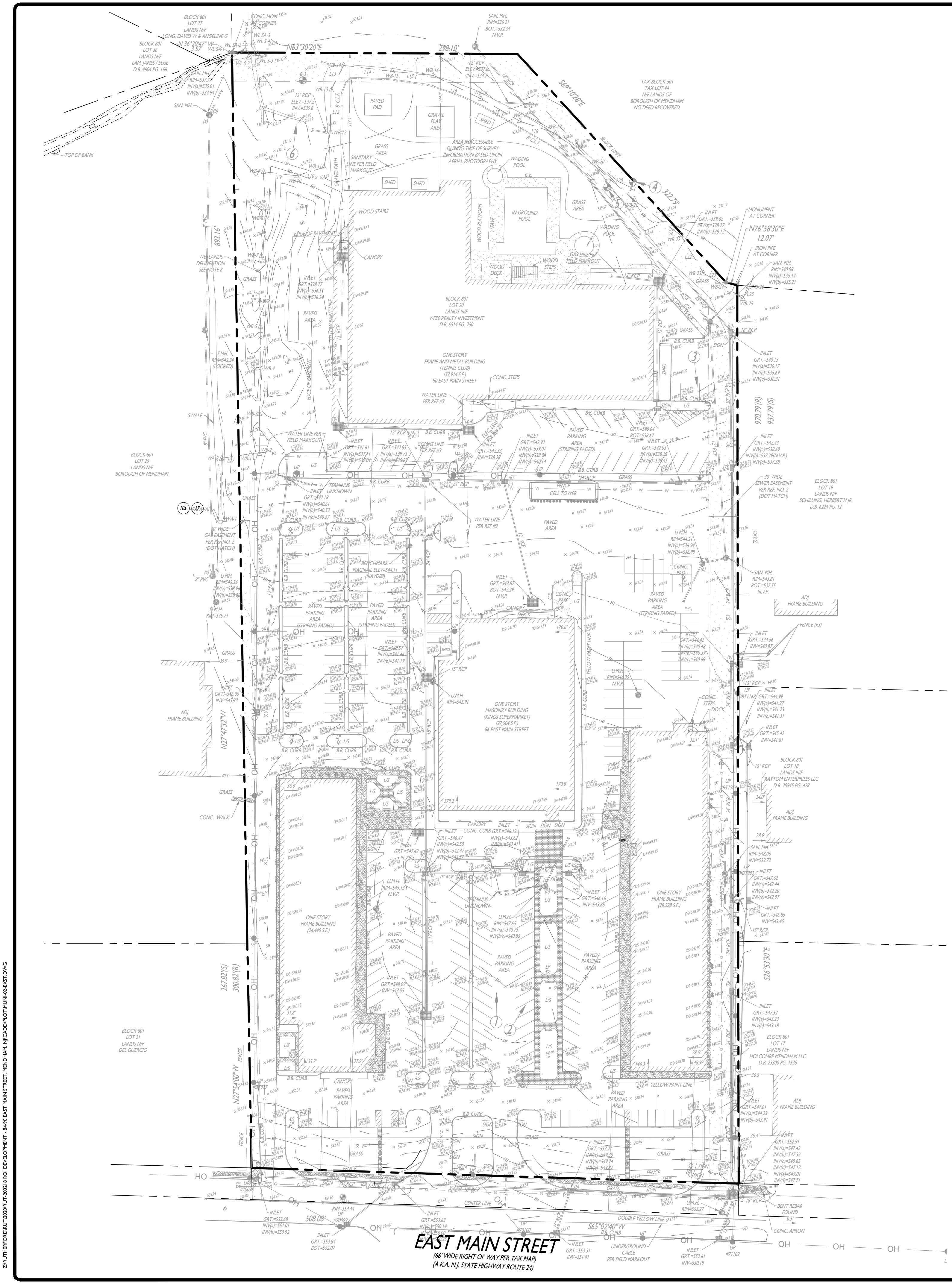
SCALE: AS SHOWN PROJECT ID: RUT-200218

TITLE:

**COVER SHEET**

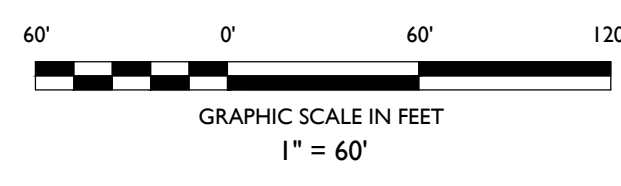
DRAWING:

**C-1**



SYMBOL	DESCRIPTION
	BUILDING
	CONCRETE SIDEWALK / MAT
	ASPHALT / CONCRETE CURB
	DEPRESSED CURB
	PROPERTY LINE
	CHAIN LINK FENCE
	BOARD-ON-BOARD FENCE
	GUIDE RAIL
	MAST ARM LP
	POLE
	LP
	SIGNS
	WATER VALVE
	GAS VALVE
	DRAIN
	INLET
	MAN HOLE
	BOLLARDS
	MONITORING WELL
	BOX (ELEC. GAS, ETCSS)
	EDGE OF PAVEMENT
	CE
	GE
	GRAVEL EDGE
	BE
	BRICK EDGE
	OVERHEAD WIRE
	OH
	G
	UNDERGROUND GAS LINE
	W
	UNDERGROUND WATER LINE
	100
	MAJOR CONTOUR
	101
	MINOR CONTOUR
	x 100.00
	TC 100.50
	TOP OF CURB SHOT
	BC 100.50
	BOTTOM OF CURB SHOT
	TW102.00
	TOP OF WALL SHOT
	BW100.00
	BOTTOM OF WALL SHOT
	Handicap Parking Symbol
	Handicap Parking
	LS
	Landscaping
	#
	Picture Location and Direction
	B-#
	Wetland Data Sheet

**SURVEY NOTES:**  
 1. THE SURVEY LISTED WITHIN THE PLAN REFERENCES ON THE COVER SHEET SHALL BE CONSIDERED A PART OF THIS PLAN SET AND ALL INFORMATION CONTAINED WITHIN THE SURVEY AND ASSOCIATED DOCUMENTS SHALL BE UTILIZED IN CONJUNCTION WITH THE PLAN SET. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN A COPY OF THE SURVEY AND REVIEW IT THOROUGHLY PRIOR TO THE START OF CONSTRUCTION.



PK	DATE	ISSUE	BY	DESCRIPTION
1	10/07/2021	ISSUE		FOR MUNICIPAL SUBMISSION

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**PRELIMINARY AND FINAL SITE PLAN**

**V-FEE MENDHAM APARTMENTS, LLC**

**PROPOSED MULTI-FAMILY RESIDENTIAL DEVELOPMENT**

BLOCK 801, LOT 20  
 84-90 EAST MAIN STREET  
 BOROUGH OF MENDHAM  
 MORRIS COUNTY, NEW JERSEY

STATE OF NEW JERSEY  
 MATTHEW WASECKLER, P.E.  
 No. GE48731  
 LICENSED PROFESSIONAL ENGINEER

**STONEFIELD**  
 engineering & design

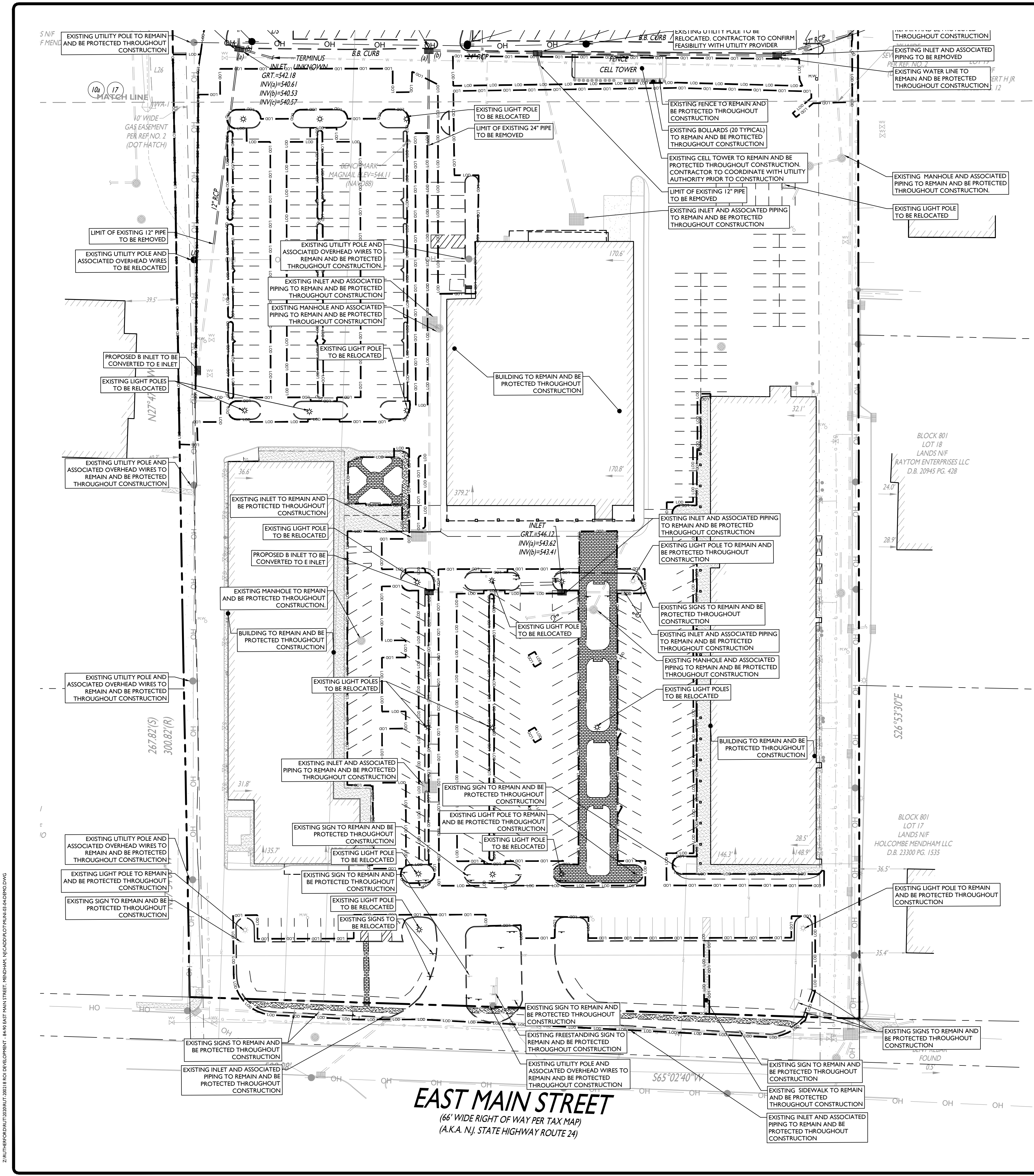
SCALE: 1" = 60' PROJECT ID: RUT-200218

TITLE:  
**EXISTING CONDITIONS PLAN**

DRAWING:  
**C-2**

2: RUTHERFORD 20200218 2021 HOI DEVELOPMENT - 84-90 EAST MAIN STREET, MENDHAM, NJ CAD/DT/PL/ML/AG/ST/DWG





SYMBOL	DESCRIPTION
---	FEATURE TO BE REMOVED / DEMOLISHED
---	LOD
---	LIMIT OF DISTURBANCE

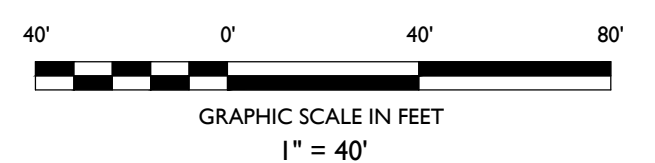
**ALL SITE FEATURES WITHIN THE LIMIT OF DISTURBANCE INDICATED ON THIS PLAN ARE TO BE REMOVED / DEMOLISHED UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC. IF SIGNIFICANT DISCREPANCIES ARE DISCERNED BETWEEN THIS PLAN AND FIELD CONDITIONS**



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**DEMOLITION NOTES**

1. THE WORK REFLECTED ON THE DEMOLITION PLAN IS TO PROVIDE GENERAL INFORMATION TOWARDS THE EXISTING ITEMS TO BE DEMOLISHED AND/OR REMOVED. THE CONTRACTOR IS RESPONSIBLE TO REVIEW THE ENTIRE PLAN SET AND ASSOCIATED REPORTS/REFERENCE DOCUMENTS INCLUDING ALL DEMOLITION ACTIVITIES AND INCIDENTAL TASKS NECESSARY TO COMPLETE THE SITE IMPROVEMENTS.
2. THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE MEANS AND METHODS OF DEMOLITION ACTIVITIES.
3. EXPLOSIVES SHALL NOT BE USED UNLESS WRITTEN CONSENT FROM BOTH THE OWNER AND ANY APPLICABLE GOVERNING AGENCY IS OBTAINED. BEFORE THE START OF ANY EXPLOSIVE PROGRAM, THE CONTRACTOR IS RESPONSIBLE TO OBTAIN ALL LOCAL, STATE, AND FEDERAL PERMITS. ADDITIONALLY, THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL SEISMIC TESTING AS REQUIRED AND ANY DAMAGES AS THE RESULT OF SAID DEMOLITION PRACTICES.
4. ALL DEMOLITION ACTIVITIES SHALL BE PERFORMED IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL CODES. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING ALL UTILITIES ARE DISCONNECTED IN ACCORDANCE WITH THE UTILITY AUTHORITY'S REQUIREMENTS PRIOR TO STARTING THE DEMOLITION OF ANY STRUCTURE. ALL EXCAVATIONS ASSOCIATED WITH DEMOLISHED STRUCTURES OR REMOVED TANKS SHALL BE BACKFILLED WITH SUITABLE MATERIAL AND COMPACTED TO SUPPORT SITE AND BUILDING IMPROVEMENTS. A GEOTECHNICAL ENGINEER SHOULD BE PRESENT DURING BACKFILLING ACTIVITIES TO OBSERVE AND CERTIFY THAT BACKFILL MATERIAL WAS COMPACTED TO A SUITABLE CONDITION.
5. DEMOLISHED DEBRIS SHALL NOT BE BURIED ON SITE. ALL WASTE/DEBRIS GENERATED FROM DEMOLITION ACTIVITIES SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REQUIREMENTS. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN ALL RECORDS OF THE DISPOSAL TO DEMONSTRATE COMPLIANCE WITH THE ABOVE REGULATIONS.



PK	DATE	BY	DESCRIPTION
1	10/20/23		FOR MUNICIPAL SUBMISSION

NOT APPROVED FOR CONSTRUCTION

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PROPOSED MULTI-FAMILY  
RESIDENTIAL DEVELOPMENT

BLOCK 801, LOT 20  
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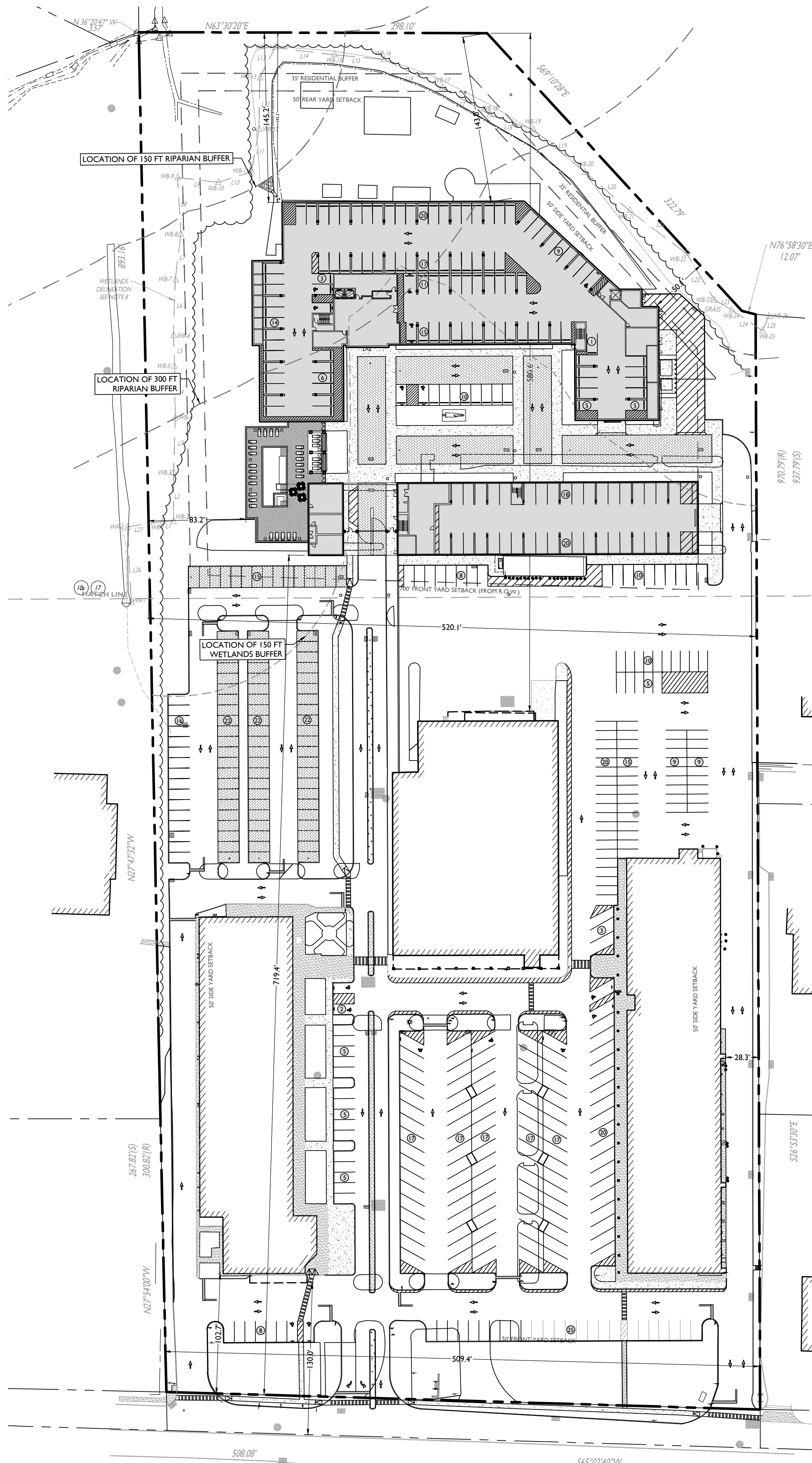
STATE OF NEW JERSEY  
MATTHEW WASECKLER, P.E.  
NEW JERSEY LICENSE No. 48731  
LICENSED PROFESSIONAL ENGINEER

**STONEFIELD**  
engineering & design

SCALE: 1" = 40' PROJECT ID: RUT-200218

TITLE:  
**DEMOLITION PLAN**

DRAWING:  
**C-4**



LAND USE AND ZONING			
BLOCK 801, LOT 20			
EAST BUSINESS ZONE (EB) / EAST BUSINESS - AFFORDABLE HOUSING (EB-AH) OVERLAY			
<b>PROPOSED USE</b>	PERMITTED USE		
MULTI-FAMILY RESIDENTIAL	PERMITTED USE		
HEALTH CLUBS & RECREATIONAL FACILITIES	PERMITTED ACCESSORY USE		
TENANT PREMIUM PARKING	PERMITTED ACCESSORY USE		
AUTOMOTIVE SALES & SERVICE	PERMITTED USE		
SHOPPING CENTER	PERMITTED USE		
<b>ZONING REQUIREMENT</b>	<b>REQUIRED</b>	<b>EXISTING</b>	<b>PROPOSED</b>
MINIMUM LOT AREA	3 AC (130,680 SF)	13.27 AC (577,865 SF)	13.27 AC (577,865 SF)
MINIMUM LOT WIDTH	200 FT	509.4 FT	509.4 FT
MINIMUM FRONT YARD SETBACK	50 FT	130.0 FT	130.0 FT
MINIMUM SIDE YARD SETBACK	50 FT	28.3 FT (EN)	28.3 (EN)
MINIMUM REAR YARD SETBACK	50 FT	132.2 FT	143.0 FT
MAXIMUM BUILDING HEIGHT *	4 STORIES OVER PARKING / 60 FT	< 60 FT	60 FT
MAXIMUM IMPERVIOUS COVERAGE	80% (462,292 SF)	78.4% (452,785 SF)	74.0% (427,902 SF)
MAXIMUM NUMBER OF UNITS	75 UNITS	N/A	75 UNITS
MINIMUM RECREATIONAL AREA	5,000 SF	N/A	> 5,000 SF

(EN) EXISTING NON-CONFORMITY  
 VERTICAL DISTANCE TO THE TOP OF THE HIGHEST POINT OF THE BUILDING MEASURED FROM THE AVERAGE ELEVATION OF THE PROPOSED FINISHED GRADE AT EACH CORNER OF THE BUILDING NEXT TO THE FOUNDATION

**RSIS CERTIFICATION**

I HEREBY CERTIFY THAT THE DETAILS OF THIS PLAN SET ARE ACCURATE AND COMPLIANT WITH RSIS

DATE: \_\_\_\_\_ MATTHEW J. SECKLER, P.E.

OFF-STREET PARKING & LOADING REQUIREMENTS		
CODE SECTION	REQUIRED	PROPOSED
§ 195-45 B. (2)	PARKING SHALL NOT BE LOCATED IN A REQUIRED FRONT YARD, EXCEPT WHERE THE REQUIRED FRONT YARD EXCEEDS 20 FT. PARKING SHALL BE PERMITTED IN AN AREA LOCATED 20 FT OR MORE FROM THE STREET ROW LINE, PROVIDED THAT NOT MORE THAN 1/2 OF THE REQUIRED FRONT YARD SETBACK AREA IS UTILIZED FOR PARKING.	COMPLIES
§ 195-45 B. (3)	ANY PARKING AREA LOCATED BETWEEN THE PRINCIPAL BUILDING AND THE MINIMUM FRONT YARD SETBACK SHALL BE LANDSCAPED OR SCREENED. NO PARKING AREA SHALL BE LOCATED CLOSER THAN 5 FT TO ANY SIDE OR REAR LOT LINE OR CLOSER THAN 25 FT TO A RESIDENTIAL ZONE.	COMPLIES
§ 195-45 B. (4)	PARKING SHALL NOT BE LOCATED CLOSER THAN 25 FT TO ANY TWO INTERSECTING STREETS OR WITHIN THE RIGHT TRIANGLE OF ANY DRIVEWAY AND THE STREET ROW.	COMPLIES
§ 195-45 C. (1)(b)	ONLY ONE-WAY TRAFFIC SHALL BE PERMITTED IN ALLEYS LESS THAN 24 FT.	COMPLIES
§ 195-45 D. (2)(a)	MINIMUM AISLE WIDTH 60' PARKING = 18 FT 90' PARKING = 24 FT AISLE	18 FT 24 FT
§ 195-45 D. (2)(b)	MINIMUM SIGHT DISTANCE 35 FEET (FOR DRIVEWAY); 25 FEET (SIGHT DISTANCE)	NO CHANGE
§ 195-45 D. (4)	NO PART OF ANY DRIVEWAY SHALL BE LOCATED CLOSER THAN 20 FT TO ANY OTHER DRIVEWAY ON AN ADJOINING PARCEL, NOR SHALL MORE THAN ONE DRIVEWAY BE LOCATED CLOSER THAN 40 FT TO ANOTHER DRIVEWAY ON THE SAME SITE.	COMPLIES
§ 195-46 K. (1)	GRANITE CURBING IS REQUIRED ALONG THE PERIMETER OF ANY INTERIOR PAVED AREA AND ON THE INTERIOR SIDE OF ANY REQUIRED PAVED BUFFER AREA. CURBING IN ANY OTHER AREA SHALL ALSO BE GRANITE BLOCK CURBING.	COMPLIES
§ 195-46 A.	MINIMUM NUMBER OF LOADING SPACES RESIDENTIAL DEVELOPMENT: CONTAINING 30 OR MORE DWELLING UNITS = 1 SPACE	1 SPACE
	RETAIL: 8041 SF = 2 SPACES	NO CHANGE
§ 195-46 B.	TOTAL = 3 LOADING SPACES	COMPLIES
§ 195-46 B.	MINIMUM LOADING SPACE SIZE WIDTH: 12 FT LENGTH: 35 FT CLEARANCE: 12 FT	24 FT X 90 FT
§ 195-46 C.	EXCEPT FOR REQUIRED BUFFER AREAS, EACH LOADING SPACE MAY OCCUPY ANY REQUIRED SIDE OR REAR YARD, BUT SHALL NOT BE LOCATED IN THE REQUIRED FRONT YARD, WHEN ADJOINING A RESIDENTIAL USE, A SUITABLY SCREENED OR LANDSCAPED BUFFER SHALL BE PROVIDED.	COMPLIES
§ 195-46 D.	OFF-STREET LOADING SPACES SHALL NOT BE LOCATED WITHIN ANY FIRE PREVENTION ZONE, WITHIN 25 FT OF ANY FIRE HYDRANT OR WITHIN 10 FT OF ANY STAIRWAY, DOORWAY, ELEVATOR, OR OTHER GENERAL MEANS OF ENTRY TO AND FROM A BUILDING FOR THE GENERAL PUBLIC.	COMPLIES
§ 195-46 E.	NO VEHICLE OR CONVEYANCE SHALL IN ANY MANNER USE PUBLIC STREETS, SIDEWALKS, OR RIGHTS-OF-WAY FOR LOADING OR UNLOADING OPERATIONS OTHER THAN INGRESS OR EGRESS TO THE LOT.	COMPLIES
§ 195-54 C. (1)	A MINIMUM OF 1% OF THE TOTAL NUMBER OF PARKING SPACES BUT NOT LESS THAN TWO PARKING SPACES SHALL BE DESIGNATED FOR PHYSICALLY HANDICAPPED PERSONS, AND SPACES SHALL BE MOST ACCESSIBLE AND APPROXIMATE TO THE BUILDING OR BUILDINGS WHICH THE PARKING SPACE SHALL SERVE.	COMPLIES
§ 195-54 C. (2)	EACH SPACE OR GROUP OF SPACES SHALL BE IDENTIFIED WITH A CLEARLY VISIBLE SIGN DISPLAYING THE INTERNATIONAL SYMBOL OF ACCESS, ALONG WITH THE FOLLOWING WORDING: "THESE SPACES RESERVED FOR PHYSICALLY HANDICAPPED DRIVERS."	COMPLIES
§ 195-54 C. (3)	MINIMUM ADA SPACE WIDTH	COMPLIES
§ 215-74 B. (4)(ii)	MINIMUM PARKING SETBACK 3 FT (FROM LOT LINES WITHIN ZONE) 10 FT (FROM OTHER ZONES)	COMPLIES
§ 215-74 F. (1)(b)	MINIMUM NUMBER OF STALLS RETAIL: 3.5 SPACES / 1,000 SF OF FLOOR AREA (8041 SF) * (3.5 / 1,000) = 28.2 SPACES TOTAL = 28.2 SPACES	341 SPACES SHARED PARKING: 15 SPACES
RSIS § 521-4.14b	MINIMUM NUMBER OF STALLS RESIDENTIAL: 1 BR. GARDEN APARTMENT: (1.8 SPACES / UNIT) * 31 UNITS = 55.8 SPACES 2 BR. GARDEN APARTMENT: (2.0 SPACES / UNIT) * 31 UNITS = 62 SPACES 3 BR. GARDEN APARTMENT: (2.1 SPACES / UNIT) * 31 UNITS = 65.1 SPACES TOTAL = 142.9	116 SPACES SHARED PARKING: 15 SPACES
§ 195-54 A.	AUTOMOBILE SERVICE STATION: 4 SPACES PER BAY + 1 FOR EACH EMPLOYEE IN THE MAXIMUM SHIFT 2 EMPLOYEES = 2 SPACES	2 SPACES
	10% REDUCTION FOR EV: 145.7 SPACES * (0.10) = 14.57 SPACES 145.7 - 14.57 = 131.13 SPACES TOTAL = 131 SPACES	TOTAL 133 SPACES *
§ 215-74 F. (2)(a)	MINIMUM STALL SIZE 9 FT X 20 FT (BEYOND 750 FT SETBACK) 10 FT X 30 FT	9 FT X 18 FT (V)

(V) VARIANCE  
 NOTE ONLY 2 PARKING SPACES ARE COUNTED FROM THE AUTO SALES & SERVICES THAT WILL BE DESIGNATED TO EMPLOYEES. THE REMAINING 18 SPACES ARE ASSUMED TO BE FOR AUTO SALES & SERVICES, AND AS SUCH, HAVE NOT BEEN CONSIDERED.

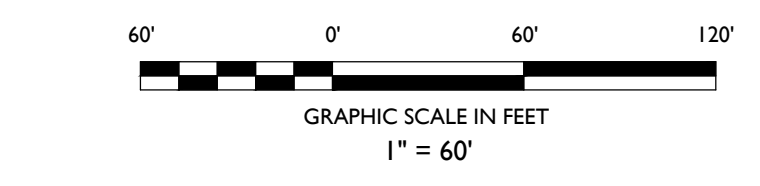
GENERAL REQUIREMENTS		
CODE SECTION	REQUIRED	PROPOSED
§ 195-51	PROVISION SHALL BE MADE FOR THE PROPER STORAGE AND COLLECTION OF REFUSE. ALL SUCH STORAGE SHALL BE MAINTAINED WITHIN THE CONFINES OF AN ENCLOSED BUILDING OR STRUCTURE AND SHALL BE REASONABLY ACCESSIBLE FOR VEHICULAR COLLECTION ON THE SITE OR SHALL BE APPROPRIATELY SCREENED AND LANDSCAPED WHERE OUTDOOR STORAGE IS NECESSARY.	COMPLIES
§ 195-55 B. (4)	IN ANY MULTISTORY BUILDING AN ELEVATOR SUFFICIENT IN SIZE TO ACCOMMODATE A WHEELCHAIR SHALL BE PROVIDED.	COMPLIES
§ 215-29 A. (1)	NO ACCESSORY BUILDING SHALL BE OVER 2 STORIES HIGH IN ANY ZONE. ANY ACCESSORY BUILDINGS ERECTED WITHIN BETWEEN 5 AND 12 FT OF A PROPERTY LINE SHALL NOT BE OVER ONE STORY IN HEIGHT.	COMPLIES
§ 215-29 A. (2)	NO ACCESSORY BUILDING SHALL BE LOCATED WITHIN 10 FT OF A WALL OF A MAIN BUILDING UNLESS ATTACHED THERETO.	COMPLIES
§ 215-29 B. (1)	A SOLID, OR A PARTIALLY OPEN, FENCE UNDER 7 1/2 FEET IN HEIGHT MAY BE ERECTED IN ANY PORTION OF A LOT.	COMPLIES
§ 215-29 B. (6)	ALL FENCES PERMITTED UNDER THIS SECTION SHALL BE SITUATED ON A LOT IN SUCH A MANNER THAT THE FINISHED SIDE SHALL FACE ADJACENT PROPERTIES AND ADJACENT PUBLIC OR PRIVATE STREETS.	COMPLIES

SIGNAGE REQUIREMENTS		
CODE SECTION	REQUIRED	PROPOSED*
§ 215-8. D. (1)(a)	NO MORE THAN ONE FREESTANDING SIGN SHALL BE PERMITTED ON A LOT REGARDLESS OF THE NUMBER OF ESTABLISHMENTS ON THE PROPERTY.	TBD
§ 215-8. D. (1)(b)	MAXIMUM FREESTANDING SIGN AREA: 25 SF	TBD
§ 215-8. D. (1)(c)	MAXIMUM HEIGHT SHALL NOT EXCEED 10 FT ABOVE THE EXISTING GRADE.	TBD
§ 215-8. D. (2)(a)	THE SIGN AREA OF WALL SIGNS SHALL NOT EXCEED 5% OF THE AREA OF THE BUILDING FACE FRONTING ON THE STREET, AS MEASURED BY THE WIDTH TIMES THE HEIGHT TO THE ROOFLINE OR THE CEILING OF THE SECOND STORY, WHICHEVER IS LESS.	TBD
§ 215-8. D. (2)(c)	SIGNAGE IN WINDOWS SHALL NOT EXCEED 30% OF THE WINDOW SURFACE AREA.	TBD
§ 215-8. E. (6)(a)	LIGHTS FOR SIGNS SHALL BE BY WHITE LIGHT ONLY.	TBD
§ 215-8. E. (6)(b)	LIGHTS FOR SIGNS SHALL BE SO SHIELDED THAT THE LIGHT PRODUCED SHALL NOT SHINE ON ADJACENT PROPERTIES.	TBD
§ 215-8. E. (6)(c)	NO SIGN SHALL HAVE ITS LIGHT SOURCE FROM WITHIN THE SIGN.	TBD
§ 215-8. E. (6)(d)	NO SIGNS UTILIZING LED OR LCD TECHNOLOGY SHALL BE PERMITTED.	TBD
§ 215-8. E. (7)	THE OUTSIDE DIMENSIONS OF ALL STRUCTURAL FRAMES OR SUPPORTS FOR A FREESTANDING SIGN SHALL NOT EXCEED THE SIGN AREA HEIGHT OR WIDTH BY MORE THAN 2 FT.	TBD
§ 215-8. E. (8)	NO WALL SIGN SHALL PROJECT MORE THAN 8 INCHES BEYOND THE BUILDING WALL TO WHICH IT IS AFFIXED.	TBD
§ 215-8. E. (9)	NO SIGN SHALL BE ABOVE THE TOP OR BEYOND THE ENDS OF THE WALL SURFACE UPON WHICH IT IS PLACED.	TBD
§ 215-8. E. (11)	DIRECTIONAL SIGNS HAVING AN AREA LESS THAN 4 SF ARE EXEMPT FROM SIGN ALLOWANCE, AREA AND LOCATION REGULATIONS, PROVIDED THAT THEY DO NOT CONSTITUTE A HAZARD TO THE PUBLIC.	TBD
§ 215-8. G.	PROHIBITED SIGNS IN ALL ZONES BILLBOARDS NEON LIGHTING ELECTRONIC MESSAGE BOARDS LED AND LCD SIGNS ROOF SIGNS	TBD

(\*) AT THE CURRENT TIME NO SIGNAGE HAS BEEN PROPOSED.

SYMBOL	DESCRIPTION
---	PROPERTY LINE
---	SETBACK LINE
---	SAWCUT LINE
==	PROPOSED FLUSH CURB
---	PROPOSED CURB
○	PROPOSED SIGNS / BOLLARDS
■	PROPOSED BUILDING
□	PROPOSED CONCRETE
▨	PROPOSED PERMEABLE PAVERS
▩	PROPOSED FULL DEPTH ASPHALT
▧	PROPOSED DECORATIVE PAVERS
⌋	PROPOSED BUILDING DOORS

- GENERAL NOTES**
- THE CONTRACTOR SHALL VERIFY AND FAMILIARIZE THEMSELVES WITH THE EXISTING SITE CONDITIONS AND THE PROPOSED SCOPE OF WORK (INCLUDING DIMENSIONS, LAYOUT, ETC.) PRIOR TO INITIATING THE IMPROVEMENTS IDENTIFIED WITHIN THESE DOCUMENTS. SHOULD ANY DISCREPANCY BE FOUND BETWEEN THE EXISTING SITE CONDITIONS AND THE PROPOSED WORK, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC PRIOR TO THE START OF CONSTRUCTION.
  - THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND ENSURE THAT ALL REQUIRED APPROVALS HAVE BEEN OBTAINED PRIOR TO THE START OF CONSTRUCTION. COPIES OF ALL REQUIRED PERMITS AND APPROVALS SHALL BE KEPT ON SITE AT ALL TIMES DURING CONSTRUCTION.
  - ALL CONTRACTORS WILL, TO THE FULLEST EXTENT PERMITTED BY LAW, INDEMNIFY AND HOLD HARMLESS STONEFIELD ENGINEERING & DESIGN, LLC, AND ITS SUB-CONSULTANTS FROM AND AGAINST ANY DAMAGES AND LIABILITIES INCLUDING ATTORNEY'S FEES ARISING OUT OF CLAIMS BY EMPLOYEES OF THE CONTRACTOR IN ADDITION TO CLAIMS CONNECTED TO THE PROJECT AS A RESULT OF NOT CARRYING THE PROPER INSURANCE FOR WORKERS COMPENSATION, LIABILITY INSURANCE, AND LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE.
  - THE CONTRACTOR SHALL NOT DEVIATE FROM THE PROPOSED IMPROVEMENTS IDENTIFIED WITHIN THIS PLAN SET UNLESS APPROVAL IS PROVIDED IN WRITING BY STONEFIELD ENGINEERING & DESIGN, LLC.
  - THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE MEANS AND METHODS OF CONSTRUCTION.
  - THE CONTRACTOR SHALL NOT PERFORM ANY WORK OR CAUSE DISTURBANCE ON A PRIVATE PROPERTY NOT CONTROLLED BY THE PERSON OR ENTITY WHO HAS AUTHORIZED THE WORK WITHOUT PRIOR WRITTEN CONSENT FROM THE OWNER OF THE PRIVATE PROPERTY.
  - THE CONTRACTOR IS RESPONSIBLE TO RESTORE ANY DAMAGED OR UNDERMINED STRUCTURE OR SITE FEATURE THAT IS IDENTIFIED TO REMAIN ON THE PLAN SET. ALL REPAIRS SHALL USE NEW MATERIALS TO RESTORE THE FEATURE TO ITS EXISTING CONDITION AT THE CONTRACTOR'S EXPENSE.
  - CONTRACTOR IS RESPONSIBLE TO PROVIDE THE APPROPRIATE SHOP DRAWINGS, PRODUCT DATA, AND OTHER REQUIRED SUBMITTALS FOR REVIEW. STONEFIELD ENGINEERING & DESIGN, LLC, WILL REVIEW THE SUBMITTALS IN ACCORDANCE WITH THE DESIGN INTENT AS REFLECTED WITHIN THE PLAN SET.
  - THE CONTRACTOR IS RESPONSIBLE FOR TRAFFIC CONTROL IN ACCORDANCE WITH MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
  - THE CONTRACTOR IS REQUIRED TO PERFORM ALL WORK IN THE PUBLIC RIGHT-OF-WAY IN ACCORDANCE WITH THE APPROPRIATE GOVERNING AUTHORITY AND SHALL BE RESPONSIBLE FOR THE PROCUREMENT OF STREET OPENING PERMITS.
  - THE CONTRACTOR IS REQUIRED TO RETAIN AN OSHA CERTIFIED SAFETY INSPECTOR TO BE PRESENT ON SITE AT ALL TIMES DURING CONSTRUCTION & DEMOLITION ACTIVITIES.
  - SHOULD AN EMPLOYEE OF STONEFIELD ENGINEERING & DESIGN, LLC, BE PRESENT ON SITE AT ANY TIME DURING CONSTRUCTION, IT DOES NOT RELIEVE THE CONTRACTOR OF ANY OF THE RESPONSIBILITIES AND REQUIREMENTS LISTED IN THE NOTES WITHIN THIS PLAN SET.
  - THE DEVELOPMENT WILL COMPLY WITH RSIS REQUIREMENTS.



PK	DATE	ISSUE	DESCRIPTION
1	10/07/2023	FOR MUNICIPAL SUBMISSION	

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**V-FEE MENDHAM APARTMENTS, LLC**

PRELIMINARY AND FINAL SITE PLAN

**PROPOSED MULTI-FAMILY RESIDENTIAL DEVELOPMENT**

BLOCK 801, LOT 20  
 84-90 EAST MAIN STREET  
 BOROUGH OF MENDHAM  
 MORRIS COUNTY, NEW JERSEY

STATE OF NEW JERSEY  
 No. GE48731  
 LICENSED PROFESSIONAL ENGINEER

MATTHEW J. SECKLER, P.E.  
 NEW JERSEY LICENSE No. 4871  
 LICENSED PROFESSIONAL ENGINEER

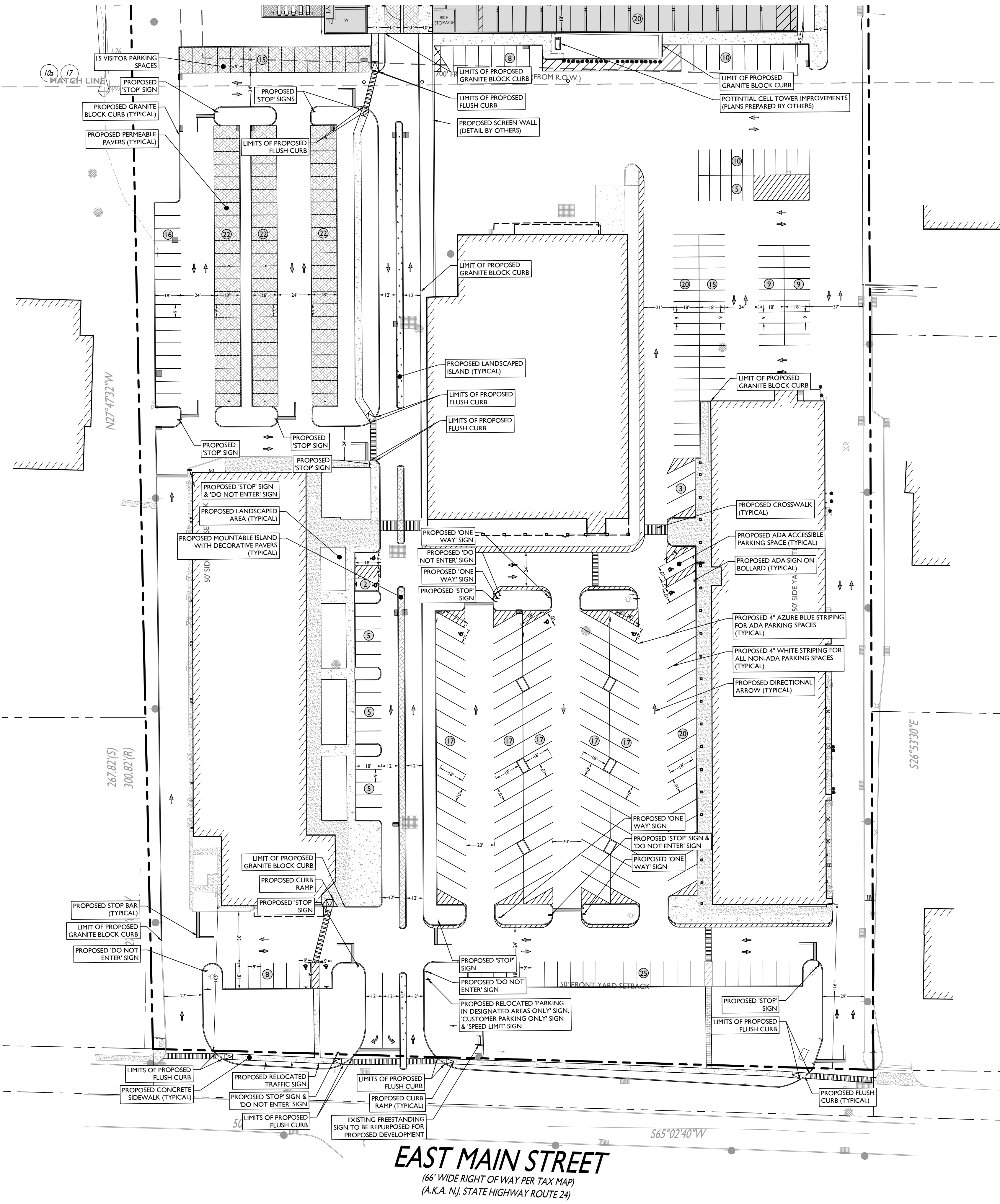
**STONEFIELD**  
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SCALE: 1" = 60' PROJECT ID: RUT-200218

TITLE: **SITE PLAN (OVERALL)**

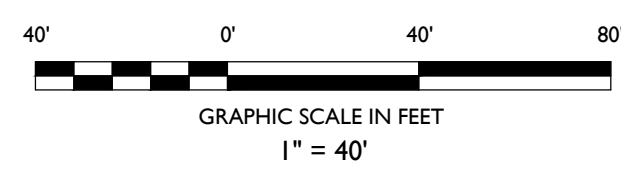
DRAWING: **C-5**





**EAST MAIN STREET**  
 (66' WIDE RIGHT OF WAY PER TAX MAP)  
 (A.K.A. N.J. STATE HIGHWAY ROUTE 24)

SYMBOL	DESCRIPTION
---	PROPERTY LINE
- - - -	SETBACK LINE
- . - . - .	SAWCUT LINE
==	PROPOSED FLUSH CURB
---	PROPOSED CURB
○	PROPOSED SIGNS / BOLLARDS
▒	PROPOSED BUILDING
▒	PROPOSED CONCRETE
▒	PROPOSED DECORATIVE PAVERS
▒	PROPOSED DECORATIVE PAVERS



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BLOCK 801, LOT 20  
 84-90 EAST MAIN STREET  
 BOROUGH OF MENDHAM  
 MORRIS COUNTY, NEW JERSEY

STATE OF NEW JERSEY  
 MATTHEW WASECKLER, P.E.  
 NEW JERSEY LICENSE No. 48731  
 LICENSED PROFESSIONAL ENGINEER

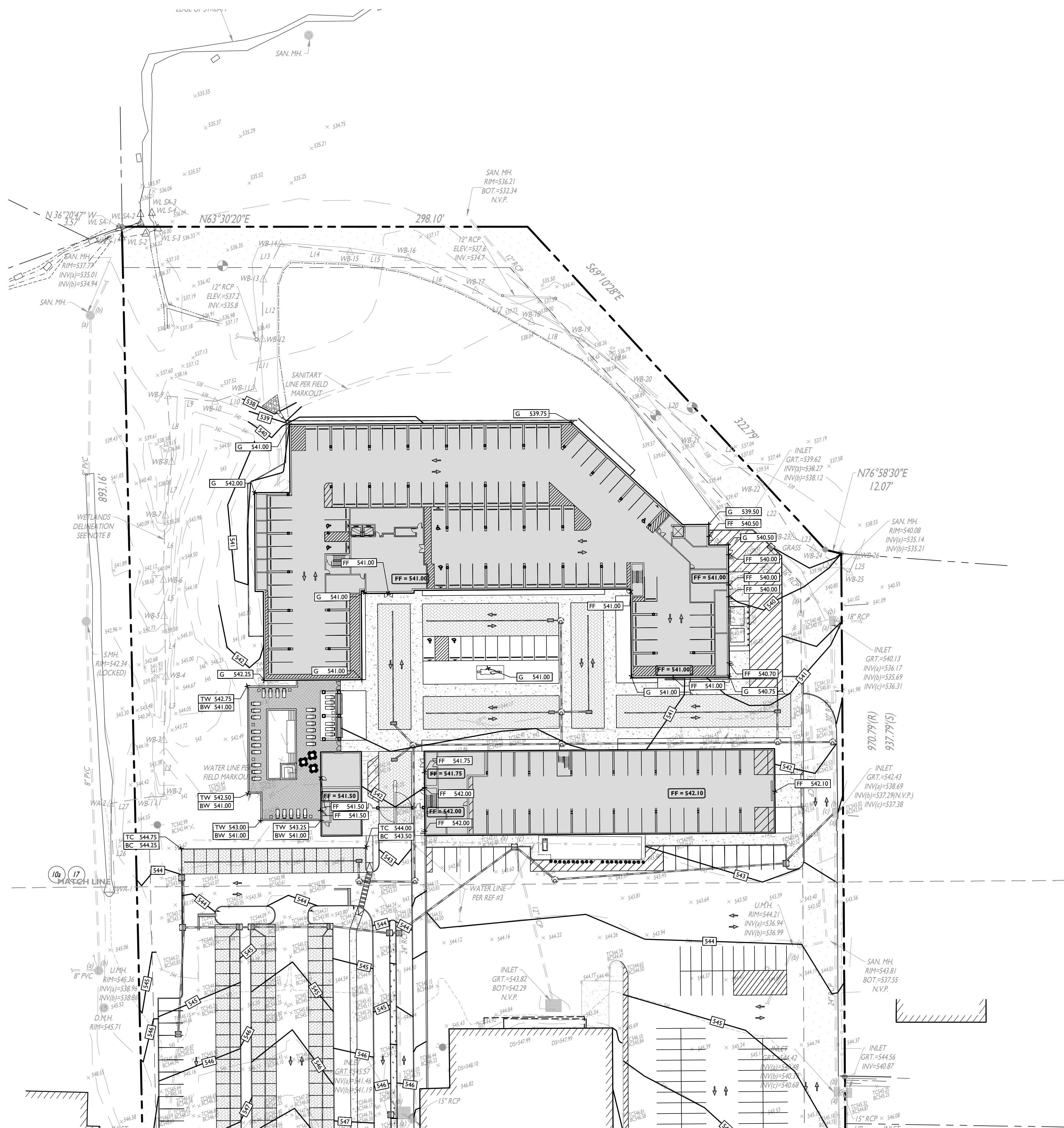
**STONEFIELD**  
 engineering & design

SCALE: 1" = 40' PROJECT ID: RUT-200218

TITLE: **SITE PLAN**

DRAWING: **C-7**

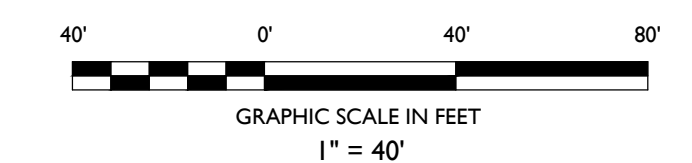
2:10 P:\PROJ\0417302\04173021.DWG DEVELOPER: J. B. EAST MAIN STREET, HENRIK, NJ\04173021.DWG 05/25/2023



SYMBOL	DESCRIPTION
---	PROPERTY LINE
—100—	PROPOSED GRADING CONTOUR
—RIDLIN—	PROPOSED GRADING RIDGELINE
←	PROPOSED DIRECTION OF DRAINAGE FLOW
x G 100.00	PROPOSED GRADE SPOT SHOT
x TC 100.50 BC 100.00	PROPOSED TOP OF CURB / BOTTOM OF CURB SPOT SHOT

- GRADING NOTES**
- ALL SOIL AND MATERIAL REMOVED FROM THE SITE SHALL BE DISPOSED OF IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REQUIREMENTS. ANY GROUNDWATER DE-WATERING PRACTICES SHALL BE PERFORMED UNDER THE SUPERVISION OF A QUALIFIED PROFESSIONAL. THE CONTRACTOR IS REQUIRED TO OBTAIN ALL NECESSARY PERMITS FOR THE DISCHARGE OF DE-WATERED GROUNDWATER. ALL SOIL IMPORTED TO THE SITE SHALL BE CERTIFIED CLEAN FILL. CONTRACTOR SHALL MAINTAIN RECORDS OF ALL FILL MATERIALS BROUGHT TO THE SITE.
  - THE CONTRACTOR IS REQUIRED TO PROVIDE TEMPORARY AND/OR PERMANENT SHORING WHERE REQUIRED DURING EXCAVATION ACTIVITIES INCLUDING BUT NOT LIMITED TO UTILITY TRENCHES. TO ENSURE THE STRUCTURAL INTEGRITY OF NEARBY STRUCTURES AND STABILITY OF THE SURROUNDING SOILS.
  - PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 4 INCHES TO 7 INCHES ABOVE EXISTING GRADES UNLESS OTHERWISE NOTED. THE CONTRACTOR WILL SUPPLY ALL STAKEOUT CURB GRADE SHEETS TO STONEFIELD ENGINEERING & DESIGN, LLC. FOR REVIEW AND APPROVAL PRIOR TO POURING CURBS.
  - THE CONTRACTOR IS RESPONSIBLE TO SET ALL PROPOSED UTILITY COVERS AND RESET ALL EXISTING UTILITY COVERS WITHIN THE PROJECT LIMITS TO PROPOSED GRADE IN ACCORDANCE WITH ANY APPLICABLE MUNICIPAL, COUNTY, STATE AND/OR UTILITY AUTHORITY REGULATIONS.
  - MINIMUM SLOPE REQUIREMENTS TO PREVENT PONDING SHALL BE AS FOLLOWS:
    - CURB GUTTER: 0.50%
    - CONCRETE SURFACES: 1.00%
    - ASPHALT SURFACES: 1.00%
  - A MINIMUM SLOPE OF 1:100 SHALL BE PROVIDED AWAY FROM ALL BUILDINGS. THE CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE FROM THE BUILDING IS ACHIEVED AND SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IF THIS CONDITION CANNOT BE MET.
  - FOR PROJECTS WHERE BASEMENTS ARE PROPOSED, THE DEVELOPER IS RESPONSIBLE TO DETERMINE THE DEPTH TO GROUNDWATER AT THE LOCATION OF THE PROPOSED STRUCTURE. IF GROUNDWATER IS ENCOUNTERED WITHIN THE BASEMENT AREA, SPECIAL CONSTRUCTION METHODS SHALL BE UTILIZED AND REVIEWED/APPROVED BY THE CONSTRUCTION CODE OFFICIAL. IF SUMP PUMPS ARE UTILIZED, ALL DISCHARGES SHALL BE CONNECTED DIRECTLY TO THE PUBLIC STORM SEWER SYSTEM WITH APPROVAL FROM THE GOVERNING STORM SEWER SYSTEM AUTHORITY.

- ADA NOTES**
- THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 2.00% SLOPE IN ANY DIRECTION WITHIN THE ADA PARKING SPACES AND ACCESS AISLES.
  - THE CONTRACTOR SHALL PROVIDE COMPLIANT SIGNAGE AT ALL ADA PARKING AREAS IN ACCORDANCE WITH STATE GUIDELINES.
  - THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 5.00% RUNNING SLOPE AND A MAXIMUM OF 2.00% CROSS SLOPE ALONG WALKWAYS WITHIN THE ACCESSIBLE PATH OF TRAVEL (SEE THE SITE PLAN FOR THE LOCATION OF THE ACCESSIBLE PATH). THE CONTRACTOR IS RESPONSIBLE TO ENSURE THE ACCESSIBLE PATH OF TRAVEL IS 36 INCHES WIDE OR GREATER UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
  - THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 2.00% SLOPE IN ANY DIRECTION AT ALL LANDINGS. LANDINGS INCLUDE, BUT ARE NOT LIMITED TO, THE TOP AND BOTTOM OF AN ACCESSIBLE RAMP. AT ACCESSIBLE BUILDING ENTRANCES, AT AN AREA IN FRONT OF A WALK-UP ATM, AND AT TURNING SPACES ALONG THE ACCESSIBLE PATH OF TRAVEL, THE LANDING AREA SHALL HAVE A MINIMUM CLEAR AREA OF 60 INCHES BY 60 INCHES UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
  - THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 8.33% RUNNING SLOPE AND A MAXIMUM 2.00% CROSS SLOPE ON ANY CURB RAMP ALONG THE ACCESSIBLE PATH OF TRAVEL. WHERE PROVIDED, CURB RAMP FLARES SHALL NOT HAVE A SLOPE GREATER THAN 10.00%. IF A LANDING AREA IS PROVIDED AT THE TOP OF THE RAMP, FOR ALTERATIONS, A CURB RAMP FLARE SHALL NOT HAVE A SLOPE GREATER THAN 8.33% IF A LANDING AREA IS NOT PROVIDED AT THE TOP OF THE RAMP. CURB RAMP FLARES SHALL NOT RISE MORE THAN 6 INCHES IN ELEVATION WITHOUT A HANDRAIL. THE CLEAR WIDTH OF A CURB RAMP SHALL BE NO LESS THAN 36 INCHES WIDE.
  - ACCESSIBLE RAMP WITH A RISE GREATER THAN 6 INCHES SHALL CONTAIN COMPLIANT HANDRAILS ON BOTH SIDES OF THE RAMP AND SHALL NOT RISE MORE THAN 30" IN ELEVATION WITHOUT A LANDING AREA IN BETWEEN RAMP RUNS. LANDING AREAS SHALL ALSO BE PROVIDED AT THE TOP AND BOTTOM OF THE RAMP.
  - A SLIP RESISTANT SURFACE SHALL BE CONSTRUCTED ALONG THE ACCESSIBLE PATH AND WITHIN ADA PARKING AREAS.
  - THE CONTRACTOR SHALL ENSURE A MAXIMUM OF 1/4 INCHES VERTICAL CHANGE IN LEVEL ALONG THE ACCESSIBLE PATH. WHERE A CHANGE IN LEVEL BETWEEN 1/4 INCHES AND 1/2 INCHES EXISTS, CONTRACTOR SHALL ENSURE THAT THE TOP 1/4 INCH CHANGE IN LEVEL IS BEVELED WITH A SLOPE NOT STEEPER THAN 1 UNIT VERTICAL AND 2 UNITS HORIZONTAL (2:1 SLOPE).
  - THE CONTRACTOR SHALL ENSURE THAT ANY OPENINGS (GAPS OR HORIZONTAL SEPARATION) ALONG THE ACCESSIBLE PATH SHALL NOT ALLOW PASSAGE OF A SPHERE GREATER THAN 1/4 INCH.



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PRELIMINARY AND FINAL SITE PLAN

**V-FEE MENDHAM APARTMENTS, LLC**

PROPOSED MULTI-FAMILY  
RESIDENTIAL DEVELOPMENT

BLOCK 801, LOT 20  
84-90 EAST MAIN STREET  
BOROUGH OF MENDHAM  
MORRIS COUNTY, NEW JERSEY

STATE OF NEW JERSEY  
NEW JERSEY  
No. GE48731  
Professional Engineer  
MATTHEW WASECKLER, P.E.  
NEW JERSEY LICENSE No. 4871

**STONEFIELD**  
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SCALE: 1" = 40' PROJECT ID: RUT-200218

TITLE:  
**GRADING PLAN**

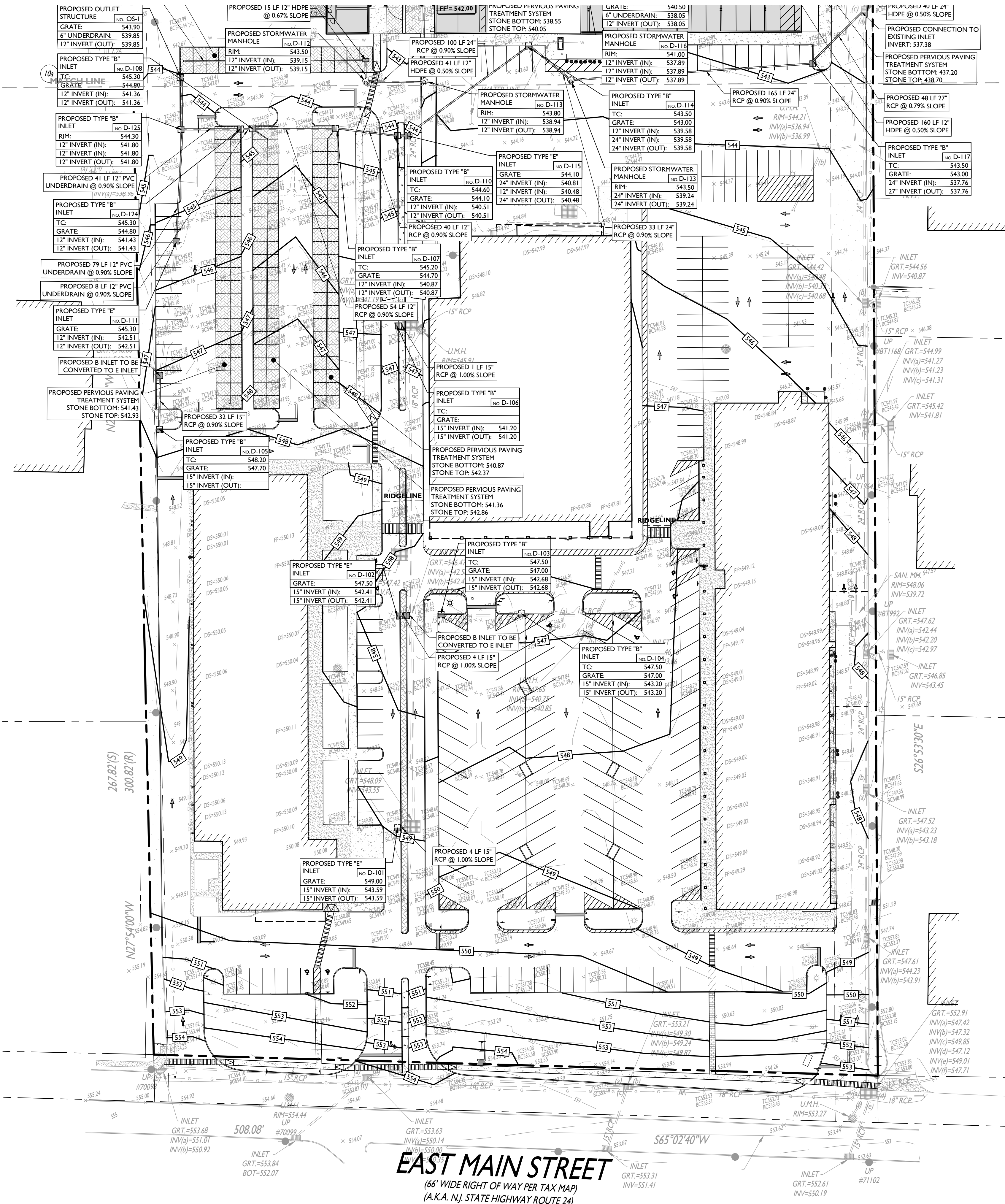
DRAWING:  
**C-8**

2: INFORMATIONAL 2/20/2023 11:01 AM DEVELOPMENT - 4495 EAST MAIN STREET - MENDHAM, NJ 07834 - 84-90 EAST MAIN STREET - MORRIS COUNTY, NJ 07834









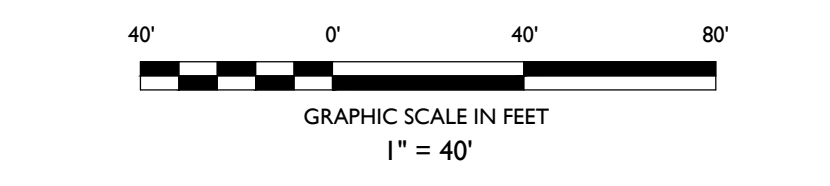
SYMBOL	DESCRIPTION
---	PROPERTY LINE
⊕	PROPOSED STORMWATER STRUCTURES
—	PROPOSED STORMWATER PIPING
⊖	PROPOSED UNDERGROUND OUTLET STRUCTURE

- DRAINAGE AND UTILITY NOTES**
- THE CONTRACTOR TO PERFORM A TEST PIT PRIOR TO CONSTRUCTION (RECOMMEND 30 DAYS PRIOR) AT LOCATIONS OF EXISTING UTILITY CROSSINGS FOR STORMWATER IMPROVEMENTS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IN WRITING.
  - CONTRACTOR SHALL START CONSTRUCTION OF STORM LINES AT THE LOWEST INVERT AND WORK UP GRADIENT.
  - THE CONTRACTOR IS REQUIRED TO CALL THE APPROPRIATE AUTHORITY FOR NOTICE OF CONSTRUCTION/EXCAVATION AND UTILITY MARK OUT PRIOR TO THE START OF CONSTRUCTION IN ACCORDANCE WITH STATE LAW. CONTRACTOR IS REQUIRED TO CONFIRM THE HORIZONTAL AND VERTICAL LOCATION OF UTILITIES IN THE FIELD. SHOULD A DISCREPANCY EXIST BETWEEN THE FIELD LOCATION OF A UTILITY AND THE LOCATION SHOWN ON THE PLAN SET OR SURVEY, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IMMEDIATELY IN WRITING.
  - THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN A RECORD OF THE AS-BUILT LOCATIONS OF ALL PROPOSED UNDERGROUND INFRASTRUCTURE. THE CONTRACTOR SHALL NOTE ANY DISCREPANCIES BETWEEN THE AS-BUILT LOCATIONS AND THE LOCATIONS DEPICTED WITHIN THE PLAN SET. THIS RECORD SHALL BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF WORK.

- EXCAVATION, SOIL PREPARATION, AND DEWATERING NOTES**
- THE CONTRACTOR IS REQUIRED TO REVIEW THE REFERENCED GEOTECHNICAL DOCUMENTS PRIOR TO CONSTRUCTION. THESE DOCUMENTS SHALL BE CONSIDERED A PART OF THE PLAN SET.
  - THE CONTRACTOR IS REQUIRED TO PREPARE SUBGRADE SOILS BENEATH ALL PROPOSED IMPROVEMENTS AND BACKFILL ALL EXCAVATIONS IN ACCORDANCE WITH RECOMMENDATIONS BY THE GEOTECHNICAL ENGINEER OF RECORD.
  - THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING SHORING FOR ALL EXCAVATIONS AS REQUIRED. CONTRACTOR SHALL HAVE THE SHORING DESIGNS PREPARED BY A QUALIFIED PROFESSIONAL SHORING DESIGNER. THESE DESIGNS SHALL BE SUBMITTED TO STONEFIELD ENGINEERING & DESIGN, LLC, AND THE OWNER PRIOR TO THE START OF CONSTRUCTION.
  - THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL OPEN EXCAVATIONS ARE PERFORMED AND PROTECTED IN ACCORDANCE WITH THE LATEST OSHA REGULATIONS.
  - THE CONTRACTOR IS RESPONSIBLE FOR ANY DEWATERING DESIGN AND OPERATIONS, AS REQUIRED, TO CONSTRUCT THE PROPOSED IMPROVEMENTS. THE CONTRACTOR SHALL OBTAIN ANY REQUIRED PERMITS FOR DEWATERING OPERATIONS AND GROUNDWATER DISPOSAL.

- STORMWATER INFILTRATION BMP CONSTRUCTION NOTES**
- PRIOR TO THE START OF CONSTRUCTION, ANY AREA DESIGNATED TO BE USED FOR AN INFILTRATION BMP (E.G. BASIN, BIORETENTION AREA, ETC.) SHALL BE FENCED OFF AND SHALL NOT BE UTILIZED AS STORAGE FOR CONSTRUCTION EQUIPMENT OR AS A STOCKPILE AREA FOR CONSTRUCTION MATERIALS. NO ACTIVITY SHALL BE PERMITTED WITHIN THE INFILTRATION BASIN AREA UNLESS RELATED TO THE CONSTRUCTION OF THE INFILTRATION BASIN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY ALL SUBCONTRACTORS OF BASIN AREA RESTRICTIONS.
  - THE CONTRACTOR SHALL MAKE EVERY EFFORT, WHERE PRACTICAL, TO AVOID SUBGRADE SOIL COMPACTION IN THE AREAS DESIGNATED TO BE USED FOR AN INFILTRATION BMP.
  - ALL EXCAVATION WITHIN THE LIMITS OF ANY INFILTRATION BMP SHALL BE PERFORMED WITH THE LIGHTEST PRACTICAL EXCAVATION EQUIPMENT. ALL EXCAVATION EQUIPMENT SHALL BE PLACED OUTSIDE THE LIMITS OF THE BASIN WHERE FEASIBLE. THE USE OF LIGHT-WEIGHT, RUBBER-TIRED EQUIPMENT (LESS THAN 8 PSI APPLIED TO THE GROUND SURFACE) IS RECOMMENDED WITHIN THE BASIN LIMITS.
  - THE SEQUENCE OF SITE CONSTRUCTION SHALL BE COORDINATED WITH BASIN CONSTRUCTION TO ADHERE TO SEQUENCING LIMITATIONS.
  - DURING THE FINAL GRADING OF AN INFILTRATION BASIN, THE BOTTOM OF THE BASIN SHALL BE DEEPLY TILLED WITH A ROTARY TILLER OR DISC HARROW AND THEN SMOOTHED OUT WITH A LEVELING DRAW OR EQUIVALENT GRADING EQUIPMENT. ALL GRADING EQUIPMENT SHALL BE LOCATED OUTSIDE OF THE BASIN BOTTOM WHERE FEASIBLE.
  - FOLLOWING CONSTRUCTION OF AN INFILTRATION BASIN, SOIL INFILTRATION TESTING BY A LICENSED GEOTECHNICAL ENGINEER IS REQUIRED TO CERTIFY COMPLIANCE WITH THE DESIGN INFILTRATION RATES IN ACCORDANCE WITH APPENDIX E OF THE NEW JERSEY DEPARTMENT OF ENVIRONMENTAL PROTECTION'S BEST MANAGEMENT PRACTICES MANUAL, LATEST EDITION. IF THE FIELD INFILTRATION RATES ARE LOWER THAN THE RATE USED DURING DESIGN, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IN WRITING IMMEDIATELY TO DETERMINE THE APPROPRIATE COURSE OF ACTION.
  - THE CONTRACTOR SHALL NOTIFY THE MUNICIPALITY TO DETERMINE IF WITNESS TESTING IS REQUIRED DURING INFILTRATION BASIN EXCAVATION AND/OR SOIL INFILTRATION TESTING.

- STORMWATER UNDERGROUND BMP CONSTRUCTION NOTES**
- THE CONTRACTOR SHALL INSTALL AND BACKFILL THE UNDERGROUND BMP IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.
  - UNDERGROUND BASINS SHALL UTILIZE A STONE BACKFILL WITH A MINIMUM VOID RATIO OF 40%.
  - NO CONSTRUCTION LOADING OVER UNDERGROUND BASINS IS PERMITTED UNTIL BACKFILL IS COMPLETE PER THE MANUFACTURER'S SPECIFICATIONS. NO VEHICLES SHALL BE STAGED OR OPERATE FROM A FIXED POSITION OVER THE BASIN.



PK	DATE	BY	DESCRIPTION
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MORRIS COUNTY, NEW JERSEY

STATE OF NEW JERSEY  
MATTHEW W. ASKLER, P.E.  
NEW JERSEY LICENSE NO. 48731  
LICENSED PROFESSIONAL ENGINEER

**STONEFIELD**  
engineering & design

SCALE: 1" = 40' PROJECT ID: RUT-200218

TITLE: **STORMWATER MANAGEMENT PLAN**

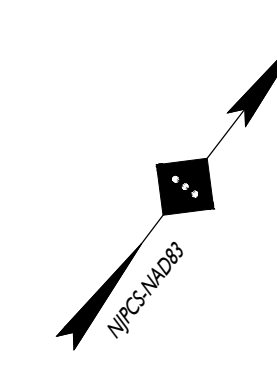
DRAWING: **C-11**

**EAST MAIN STREET**  
(66' WIDE RIGHT OF WAY PER TAX MAP)  
(A.K.A. N.J. STATE HIGHWAY ROUTE 24)

2:24 PM 10/23/2023 11:00 AM DEVELOPMENT - 4440 EAST MAIN STREET - MENDHAM, NJ 07834



PROPOSED LUMINAIRE SCHEDULE							
SYMBOL	LABEL	QUANTITY	LIGHTING FIXTURE	DISTRIBUTION	LLF	MANUFACTURER	IES FILE
	A	5	GLASWERKS LUMINESCENT LED BERN	TYPE III	0.90	HOLOPHANE	GBLF3_P80_30K_XXXXX_SYM.IES
	B	32	B-K MAMMOTH UP/DOWN LED	TYPE I	0.90	B-K LIGHTING	MA-LED-x51-WF-L-ITL88310-GO-NIOPHOTOME-TRY.IES
	C	28	CPY SERIES VERSION B LED CANOPY FIXTURE - INPUT C (31 W)	-	0.90	CREE LIGHTING	cPY250-B-XX-F-C-UL-XX-40K-CONFIGURED.IES
	D	21	UTLD TRADITIONAIRE LED DOWNLIGHT AREA LIGHT	TYPE V	0.90	HUBBELL	UTLD-E02-LED-E-U-5MQ.IES

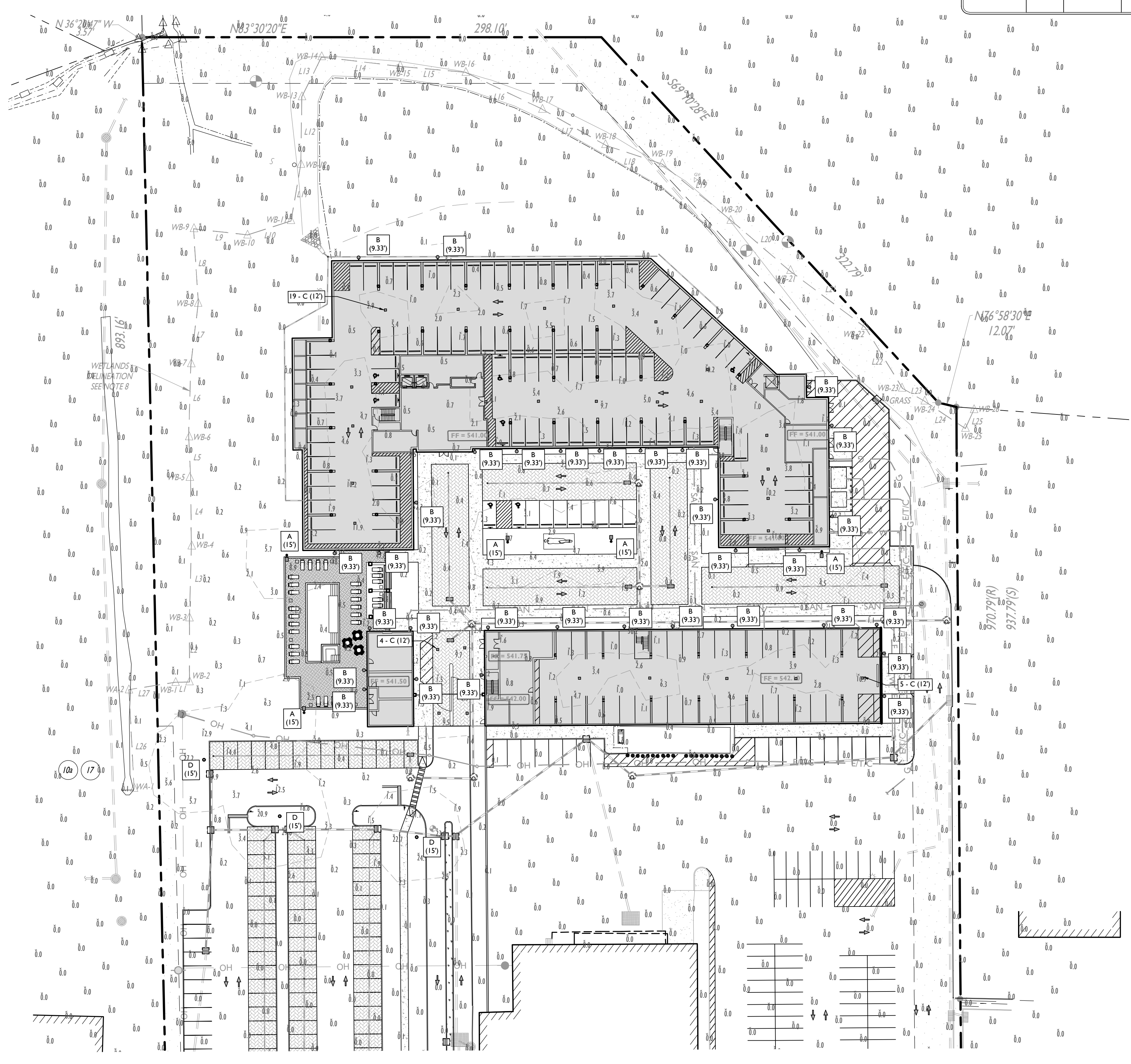


SYMBOL	DESCRIPTION
---	PROPOSED CALCULATION AREA
---	PROPOSED ISOMETRIC LINE
A (XX')	PROPOSED LIGHTING FIXTURE (MOUNTING HEIGHT)
+xx	PROPOSED LIGHTING INTENSITY (FOOTCANDELS)
	PROPOSED AREA LIGHT
	PROPOSED BUILDING MOUNTED LIGHT
	PROPOSED BUILDING MOUNTED LIGHT

LIGHTING REQUIREMENTS		
CODE SECTION	REQUIRED	PROPOSED
§ 195-47. A. (1)	THE STYLE OF THE LIGHT AND LIGHT STANCHION SHALL BE CONSISTENT WITH THE ARCHITECTURAL STYLE OF THE PRINCIPAL BUILDING.	COMPLIES
§ 195-47. A. (2)	MAXIMUM HEIGHT OF FREESTANDING LIGHTS SHALL NOT EXCEED THE HEIGHT OF THE PRINCIPAL BUILDING OR 25 FT, WHICHEVER IS LESS.	COMPLIES
§ 195-47. A. (3)	LIGHTS ALONG PROPERTY LINES SHALL BE APPROPRIATELY SHIELDED.	COMPLIES
§ 195-47. A. (4)	SPOTLIGHT-TYPE FIXTURES ATTACHED TO BUILDINGS SHALL BE AVOIDED EXCEPT WHERE PROPERLY SCREENED FROM ADJACENT PROPERTIES.	COMPLIES
§ 195-47. A. (5)	FREESTANDING LIGHTS SHALL BE SO LOCATED AND PROTECTED TO AVOID BEING DAMAGED BY VEHICLES.	COMPLIES
§ 195-47. A. (6)	LIGHTING SHALL NOT BE PERMITTED WHICH REQUIRES FLASHING OR INTERMITTENT ILLUMINATION, LIGHTING WHICH REQUIRES CHANGE IN COLOR, INTENSITY OR HUE SHALL LIKEWISE BE PROHIBITED. ALL SIGN LIGHTING SHALL BE BY WHITE LIGHT ONLY.	COMPLIES

**GENERAL LIGHTING NOTES**

- THE LIGHTING LEVELS DEPICTED WITHIN THE PLAN SET ARE CALCULATED UTILIZING DATA OBTAINED FROM THE LISTED MANUFACTURER. ACTUAL ILLUMINATION LEVELS AND PERFORMANCE OF ANY PROPOSED LIGHTING FIXTURE MAY VARY DUE TO UNCONTROLLABLE VARIABLES SUCH AS WEATHER, VOLTAGE SUPPLY, LAMP TOLERANCE, EQUIPMENT SERVICE LIFE AND OTHER VARIABLE FIELD CONDITIONS.
- WHERE APPLICABLE, THE EXISTING LIGHT LEVELS DEPICTED WITHIN THE PLAN SET SHALL BE CONSIDERED APPROXIMATE. THE EXISTING LIGHT LEVELS ARE BASED ON FIELD OBSERVATIONS AND THE MANUFACTURER'S DATA OF THE ASSUMED OR MOST SIMILAR LIGHTING FIXTURE MODEL.
- UNLESS NOTED ELSEWHERE WITHIN THIS PLAN SET, THE LIGHT LOSS FACTORS USED IN THE LIGHTING ANALYSIS ARE AS FOLLOWS:
  - LIGHT EMITTING DIODES (LED): 0.90
  - HIGH PRESSURE SODIUM: 0.72
  - METAL HALIDE: 0.72
- THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC, IN WRITING, PRIOR TO THE START OF CONSTRUCTION, OF ANY PROPOSED LIGHTING LOCATIONS THAT CONFLICT WITH EXISTING/PROPOSED DRAINAGE, UTILITY, OR OTHER IMPROVEMENTS. THE CONTRACTOR IS RESPONSIBLE TO PREPARE AN AS-BUILT PLAN OF WIRING AND PROVIDE COPIES TO THE OWNER AND STONEFIELD ENGINEERING & DESIGN, LLC.



GBLF3  
GlasWerks Luminescent  
LED Bern®

AREA LIGHT (A)

NOT TO SCALE



BUILDING WALL LIGHT (B)

NOT TO SCALE



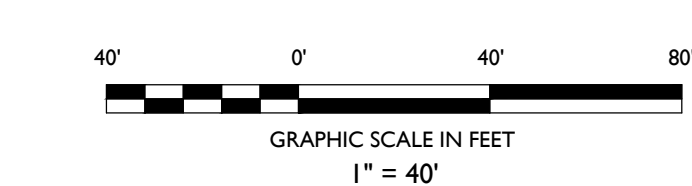
CEILING LIGHT (C)

NOT TO SCALE



AREA LIGHT (D)

NOT TO SCALE



PRELIMINARY AND FINAL SITE PLAN

**V-FEE MENDHAM APARTMENTS, LLC**

PROPOSED MULTI-FAMILY RESIDENTIAL DEVELOPMENT

BLOCK 801, LOT 20  
84-90 EAST MAIN STREET  
BOROUGH OF MENDHAM  
MORRIS COUNTY, NEW JERSEY

STATE OF NEW JERSEY  
MATTHEW WASECKLER, P.E.  
NEW JERSEY LICENSE No. 48731  
LICENSED PROFESSIONAL ENGINEER

**STONEFIELD**  
engineering & design

SCALE: 1" = 40' PROJECT ID: RUT-200218

TITLE: LIGHTING PLAN

DRAWING: C-13

PK	BY	DATE	ISSUE
1		10/07/2023	FOR MUNICIPAL SUBMISSION

NOT APPROVED FOR CONSTRUCTION



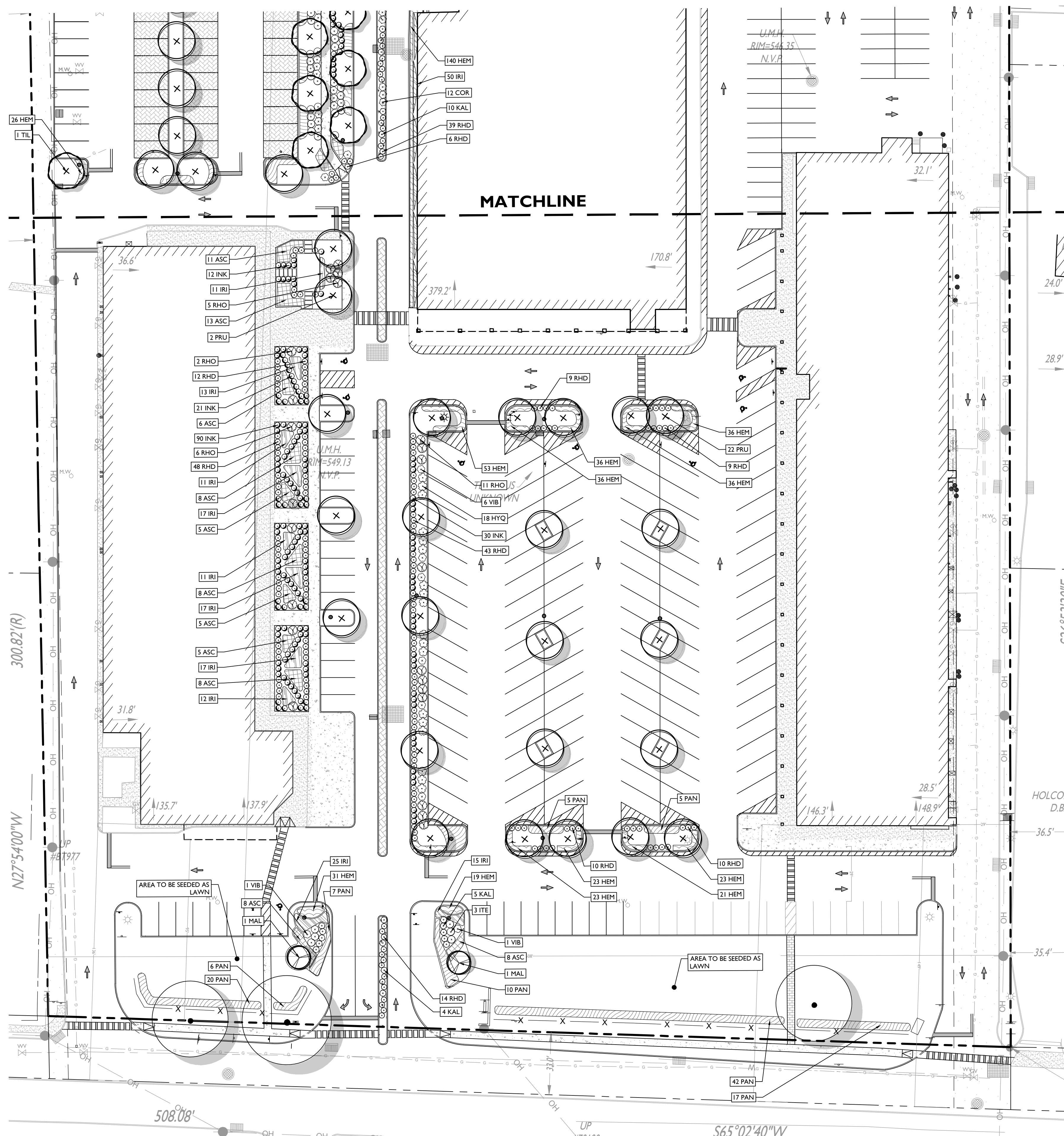












**EAST MAIN STREET**  
 (66' WIDE RIGHT OF WAY PER TAX MAP)  
 (A.K.A. N.J. STATE HIGHWAY ROUTE 24)

BEFORE YOU BREAK GROUND FOR A PROJECT AROUND YOUR YARD, SUCH AS A POOL, IN-GROUND POOL, OR HOME ADDITION, YOU MUST CALL NEW JERSEY ONE CALL AT (800) 372-1000 TO REQUEST A MARK OUT OF THE UTILITY SERVICES THAT ARE UNDERGROUND. IT IS YOUR RESPONSIBILITY TO MAKE SURE YOU CALL 3 DAYS BEFORE YOU DIG. THE STATE OF NEW JERSEY REQUIRES THAT YOU CALL "BEFORE YOU DIG" TO MAKE SURE YOU CAN IDENTIFY WHERE THE UNDERGROUND UTILITIES ARE LOCATED (SUCH AS WATER, GAS, ELECTRIC, PHONE, CABLE, ETC.) ONCE YOU HAVE BEEN MARKED OUT, YOU CAN DIG WITHOUT THE RISK OF DAMAGING PROPERTY OR INTERFERING WITH ANY OF THESE UTILITIES.

**ONE CALL**

NEW JERSEY

IF YOU ARE HAVING A WORK FOR YOU, THEY ARE CONTACT ONE CALL UTILITY SERVICES TO HELP YOU IDENTIFY WHAT UTILITY IS OUT.

ELECTRIC-RED, GAS-ORANGE, WATER-BLUE, SEWER-GREEN, TELEPHONE-TEAL, TEMPORARY MARKINGS-MAGENTA, PROPOSED EXCAVATION-WHITE.

**IRRIGATION NOTE:**

IRRIGATION CONTRACTOR TO PROVIDE A DESIGN FOR AN IRRIGATION SYSTEM SEPARATING PLANTING BEDS FROM LAWN AREA. PRIOR TO CONSTRUCTION, DESIGN IS TO BE SUBMITTED TO THE PROJECT LANDSCAPE DESIGNER FOR REVIEW AND APPROVAL. WHERE POSSIBLE, DRIP IRRIGATION AND OTHER WATER CONSERVATION TECHNIQUES SUCH AS RAIN SENSORS SHALL BE IMPLEMENTED. CONTRACTOR TO VERIFY MAXIMUM ON SITE DYNAMIC WATER PRESSURE AVAILABLE MEASURED IN PSI. PRESSURE REDUCING DEVICES OR BOOSTER PUMPS SHALL BE PROVIDED TO MEET SYSTEM PRESSURE REQUIREMENTS. DESIGN TO SHOW ALL VALVES, PIPING, HEADS, BACKFLOW PREVENTION, METERS, CONTROLLERS, AND SLEEVES WITHIN HARDSCAPE AREAS.

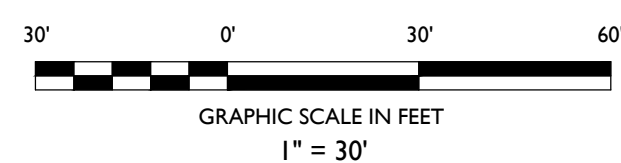
**LANDSCAPING NOTES:**

1. THE CONTRACTOR SHALL RESTORE ALL DISTURBED GRASS AND LANDSCAPED AREAS TO MATCH EXISTING CONDITIONS UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
2. THE CONTRACTOR SHALL RESTORE ALL DISTURBED LAWN AREAS WITH A MINIMUM 4 INCH LAYER OF TOPSOIL AND SEED.
3. THE CONTRACTOR SHALL RESTORE MULCH AREAS WITH A MINIMUM 3 INCH LAYER OF MULCH.
4. THE MAXIMUM SLOPE ALLOWABLE IN LANDSCAPE RESTORATION AREAS SHALL BE 3 FEET HORIZONTAL TO 1 FOOT VERTICAL (3:1 SLOPE) UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
5. THE CONTRACTOR IS REQUIRED TO LOCATE ALL SPRINKLER HEADS IN AREA OF LANDSCAPING DISTURBANCE PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL RELOCATE SPRINKLER HEADS AND LINES IN ACCORDANCE WITH OWNER'S DIRECTION WITHIN AREAS OF DISTURBANCE.
6. THE CONTRACTOR SHALL ENSURE THAT ALL DISTURBED LANDSCAPED AREAS ARE GRADED TO MEET FLUSH AT THE ELEVATION OF WALKWAYS AND TOP OF CURB ELEVATIONS EXCEPT UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET. NO ABRUPT CHANGES IN GRADE ARE PERMITTED IN DISTURBED LANDSCAPING AREAS.

**PLANT SCHEDULE**

TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	REMARKS
	MAL	20	MALLUS IOENSIS	PRAIRIE CRABAPPLE	8' HT	B&B	NATIVE
	PRU	42	PRUNUS SEROTINA	BLACK CHERRY	2-3' CAL	B&B	NATIVE
	QUE	2	QUERCUS BICOLOR	SWAMP WHITE OAK	2-3' CAL	B&B	NATIVE
	TIL	20	TILIA CORDATA 'GREENSPIRE'	GREENSPIRE LITTLELEAF LINDEN	2-3' CAL	B&B	NATIVE
	VIT	3	VITEX AGNUS-CASTUS	CHASTE TREE	2-3' CAL	B&B	NATIVE
EVERGREEN TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	REMARKS
	ILEJER	19	ILEX OPACA 'JERSEY QUEEN'	AMERICAN HOLLY	6' HT	B&B	NATIVE
	THU	25	THUJA OCCIDENTALIS	AMERICAN ARBORVITAE	6' HT	B&B	NATIVE
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	DETAIL
	COR	40	CORNUS SERICEA	RED TWIG DOGWOOD	3 GAL.	POT	NATIVE
	HYN	45	HYDRANGEA MACROPHYLLA 'NIKKO BLUE'	NIKKO BLUE HYDRANGEA	3 GAL.	POT	NATIVE
	HYQ	31	HYDRANGEA QUERCIFOLIA	OAKLEAF HYDRANGEA	3 GAL.	POT	NATIVE
	ITE	48	ITEA VIRGINICA	VIRGINIA SWEETSPICE	3 GAL.	POT	NATIVE
	IVY	6	PARTHENOCISSUS TRICUSPIDATA	BOSTON IVY	5 GAL.	POT	NATIVE
	RHD	286	RHODODENDRON X 'DORA AMATES'	DORA AMATES RHODODENDRON	3 GAL.	POT	NATIVE
	VIB	49	VIBURNUM DENTATUM 'ARROWWOOD'	ARROWWOOD VIBURNUM	5 GAL.	POT	NATIVE
EVERGREEN SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	DETAIL
	INK	397	ILEX GLABRA	INKBERRY HOLLY	24" HT	POT	NATIVE
	KAL	83	KALMIA LATIFOLIA	MOUNTAIN LAUREL	5 GAL.	POT	NATIVE
	RHO	42	RHODODENDRON MAXIMUM	ROSE BAY	7 GAL.	POT	NATIVE
SHRUB AREAS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	REMARKS
	ASC	118	ASCLEPIAS TUBEROSA	BUTTERFLY MILKWEED	1 GAL.	36" o.c.	NATIVE
	HEM	1,226	HEMEROCALLIS FULVA 'BITSEY'	DWARF YELLOW DAYLILY	1 GAL.	18" o.c.	NATIVE
	IRI	232	IRIS VERSICOLOR	BLUE FLAG	1 GAL.	24" o.c.	NATIVE
	PAN	192	PANICUM VIRGATUM	SWITCH GRASS	5 GAL.	48" o.c.	NATIVE

NOTE: IF ANY DISCREPANCIES OCCUR BETWEEN AMOUNTS SHOWN ON THE LANDSCAPE PLAN AND WITHIN THE PLANT LIST, THE PLAN SHALL DICTATE.



PK	DATE	ISSUE	BY	DESCRIPTION
1	10/07/2023			FOR MUNICIPAL SUBMISSION

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 Princeton, NJ • Tampa, FL • Detroit, MI  
 www.stonefielddesign.com

Headquarters: 92 Park Avenue, Rutherford, NJ 07070  
 Phone 201.340.4468 • Fax 201.340.4472

PRELIMINARY AND FINAL SITE PLAN

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BLOCK 801, LOT 20  
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 No. GE48731  
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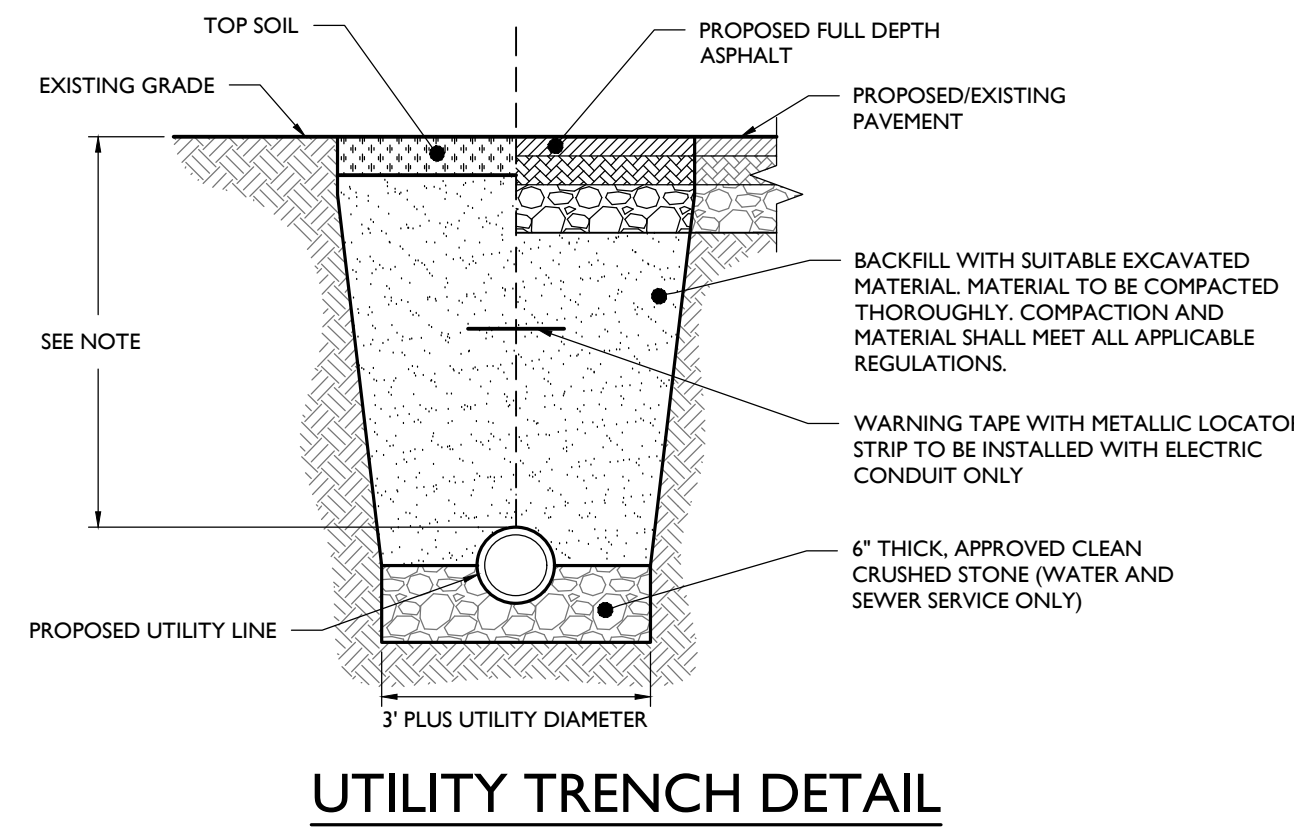
SCALE: 1" = 30' PROJECT ID: RUT-200218

TITLE:  
**LANDSCAPING PLAN  
 (FOCAL POINTS)**

DRAWING:  
**C-19**







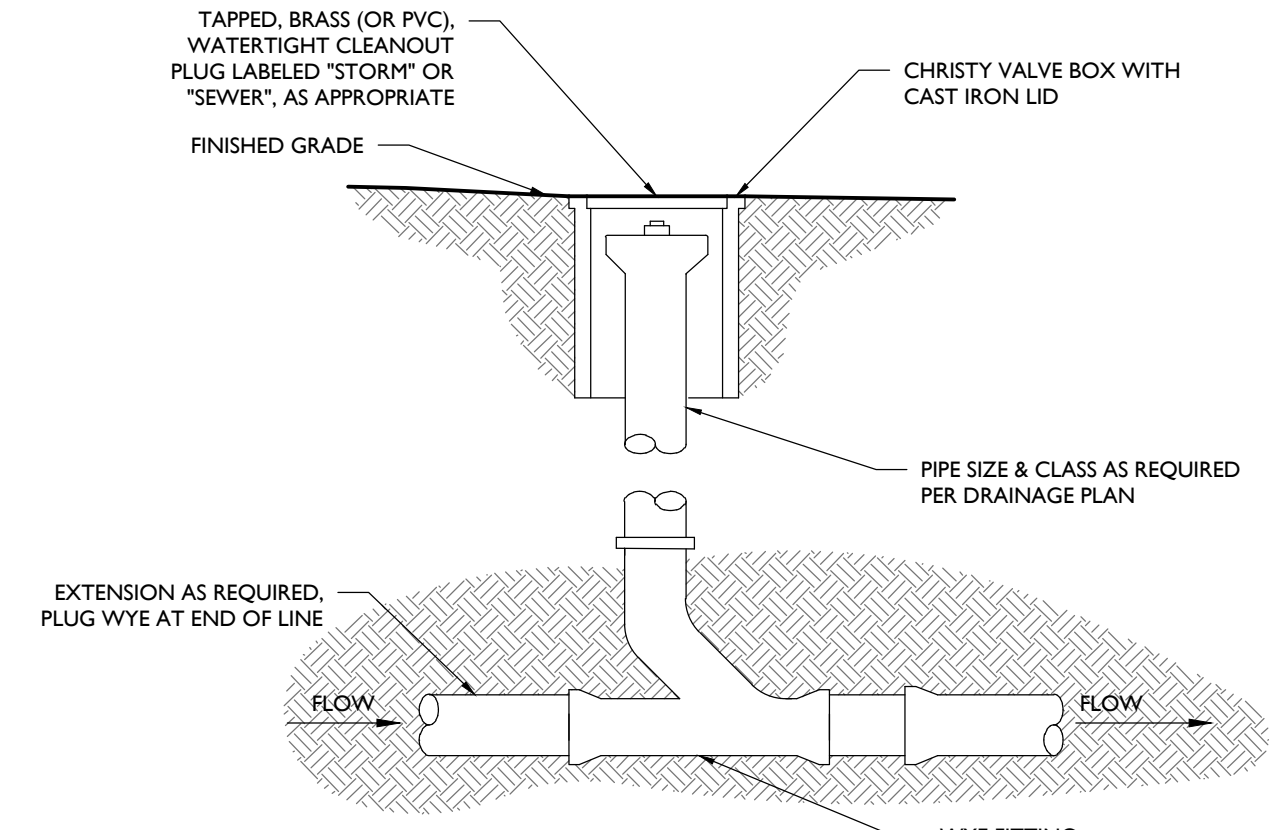
**UTILITY TRENCH DETAIL**

NOT TO SCALE

NOTE

- MINIMUM PIPE COVER SHALL BE AS FOLLOWS:
- ELECTRIC SERVICE - PER APPLICABLE UTILITY AUTHORITY
  - GAS SERVICE - PER APPLICABLE UTILITY AUTHORITY
  - SEWER SERVICE - 36" MINIMUM
  - WATER SERVICE - 48" MINIMUM

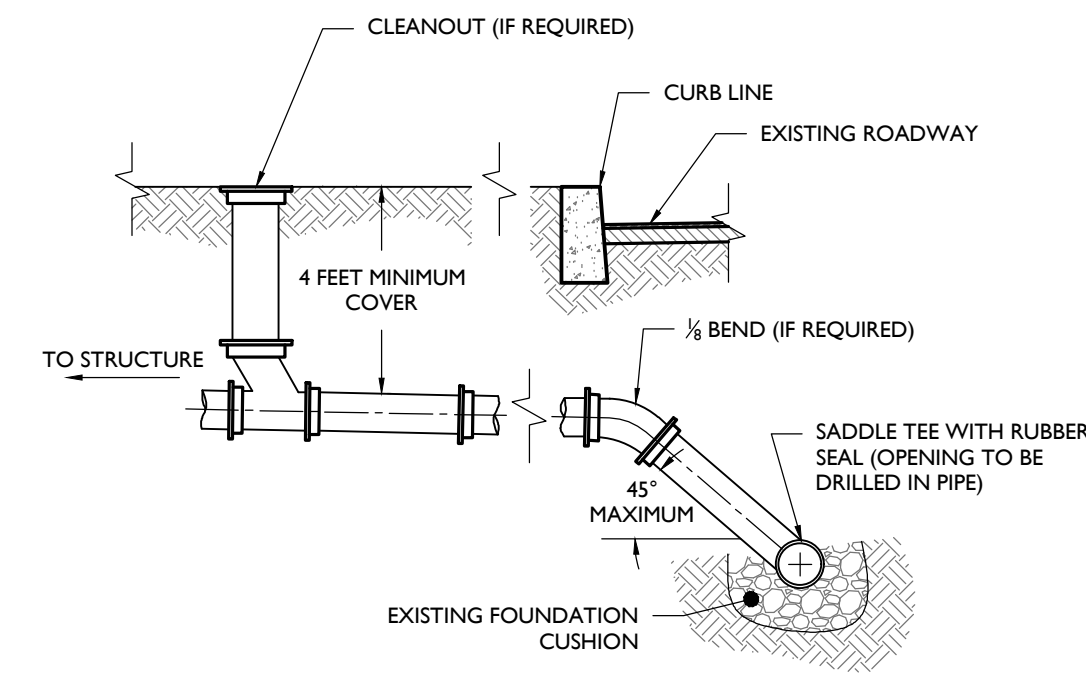
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**SOFTSCAPE CLEAN-OUT**

NOT TO SCALE

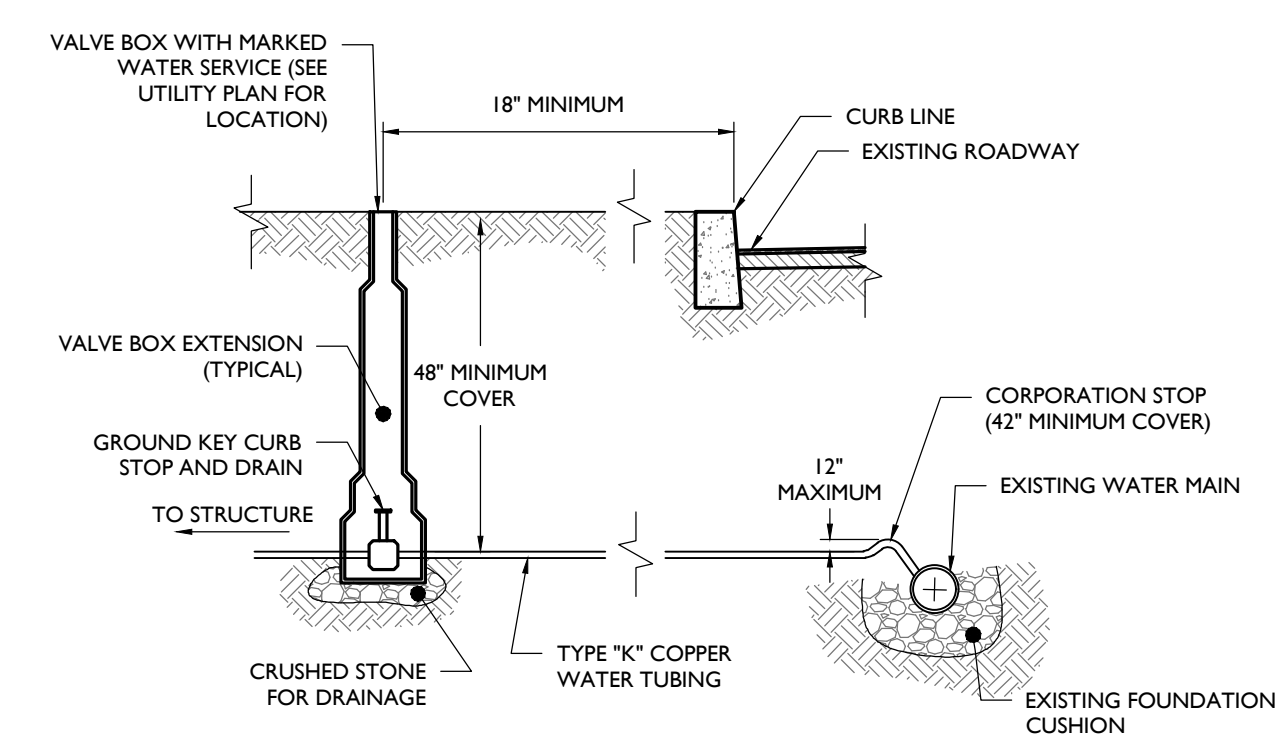
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**SEWER CONNECTION DETAIL**

NOT TO SCALE

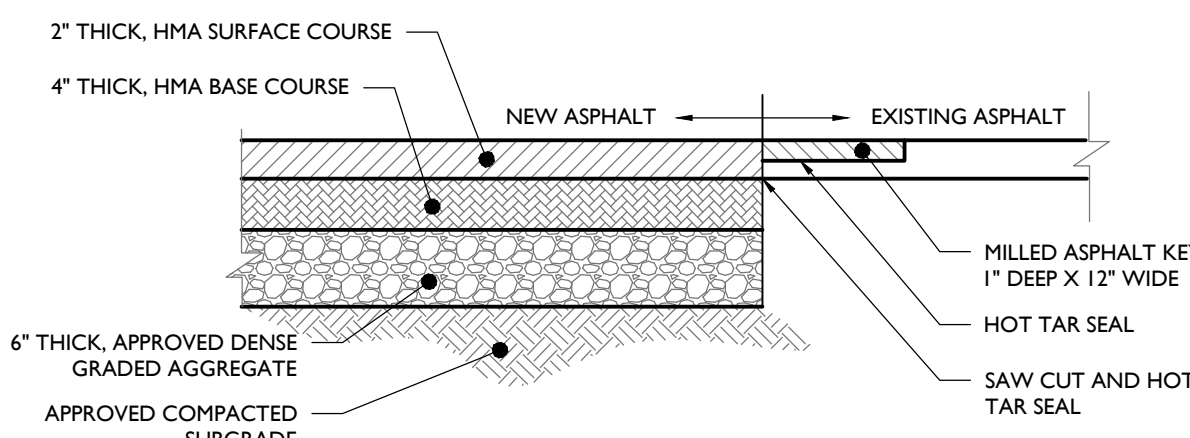
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**WATER CONNECTION DETAIL**

NOT TO SCALE

4

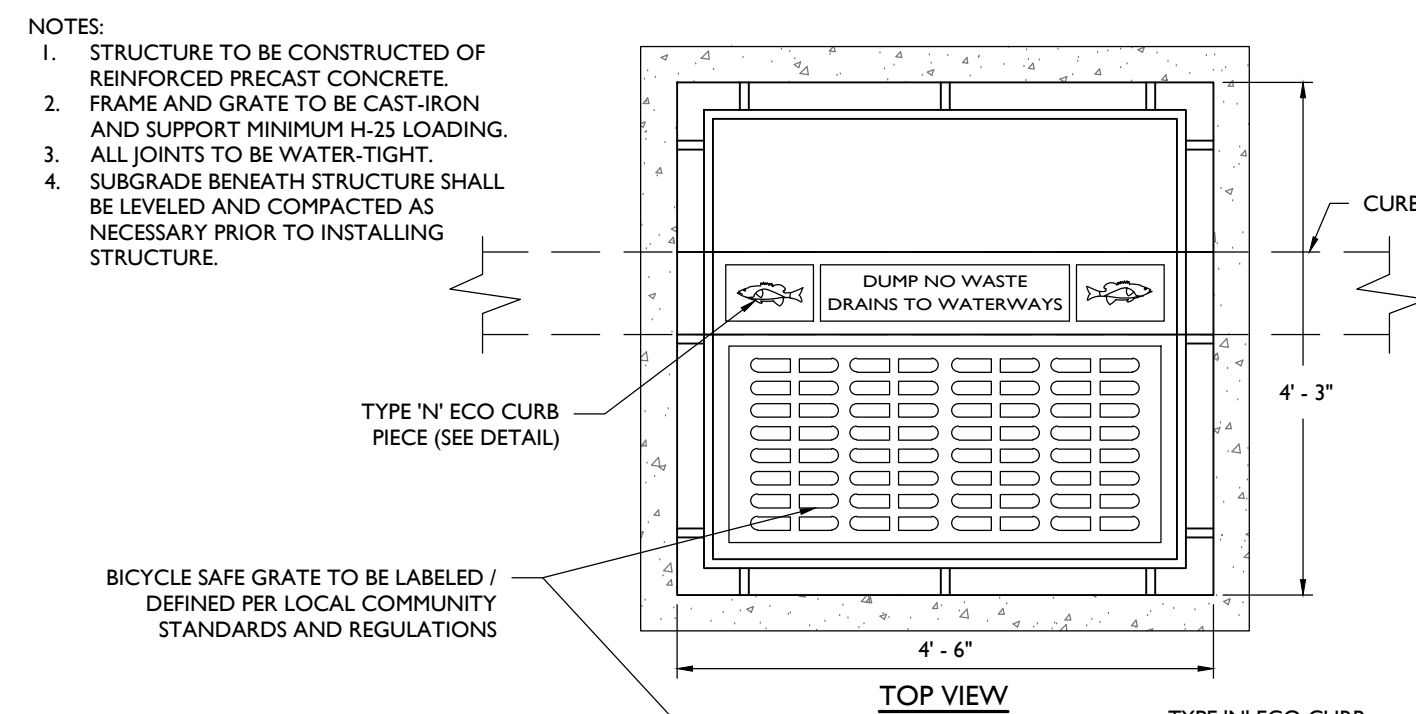


**FULL DEPTH ASPHALT PAVEMENT DETAIL**

NOT TO SCALE

- NOTE
- HMA MIX AND DENSE GRADED AGGREGATE SHALL CONFORM TO STATE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS.

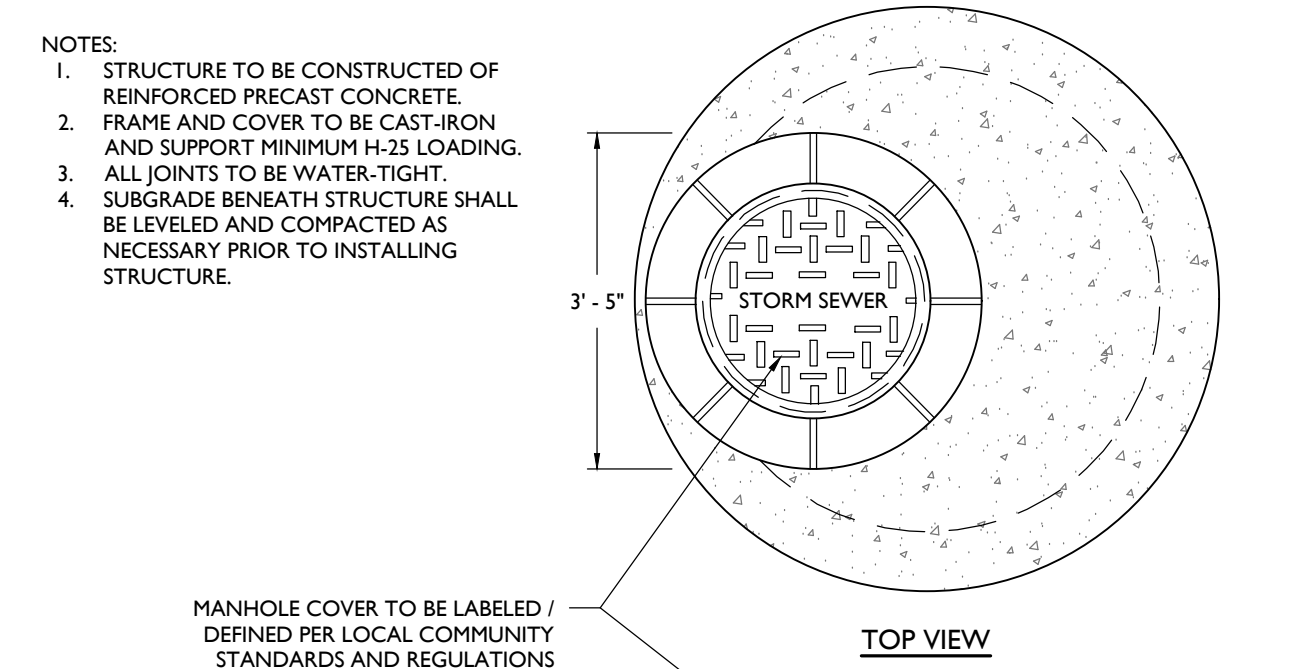
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**TYPE 'B' STORM INLET DETAIL**

NOT TO SCALE

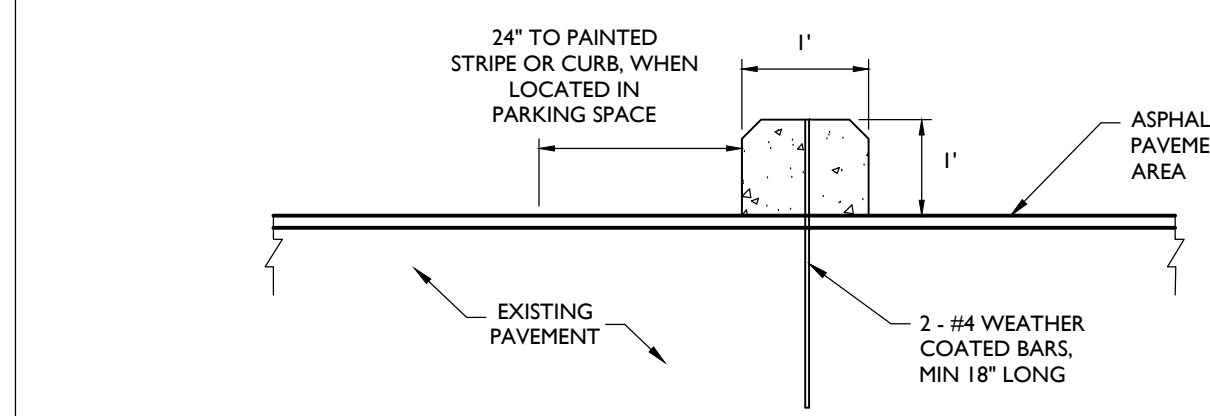
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**STORM MANHOLE DETAIL**

NOT TO SCALE

8

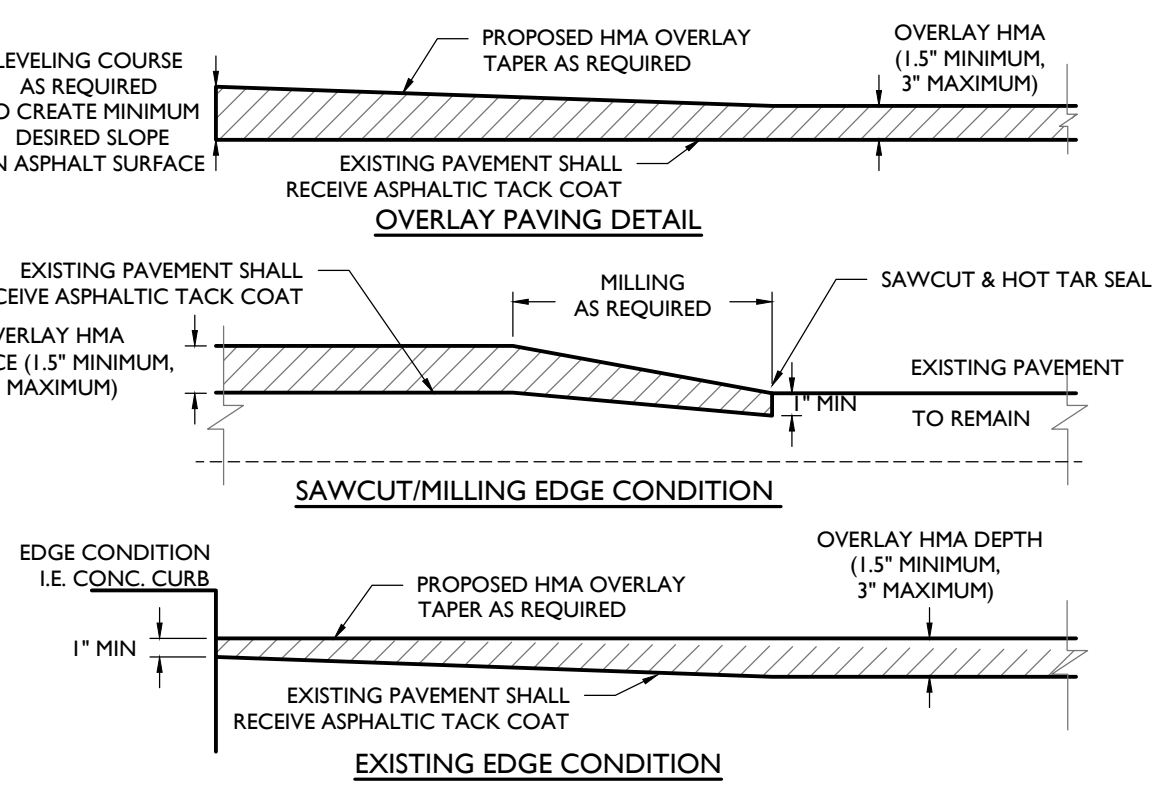


**CONCRETE WHEEL STOP DETAIL**

NOT TO SCALE

- NOTES:
- ON CONCRETE PAVEMENT, SECURE WHEEL STOP WITH EPOXY BONDING AGENT.
  - WHEEL STOP SHALL BE 6' LONG.
  - WHEEL STOP SHALL BE PREFABRICATED CONCRETE.

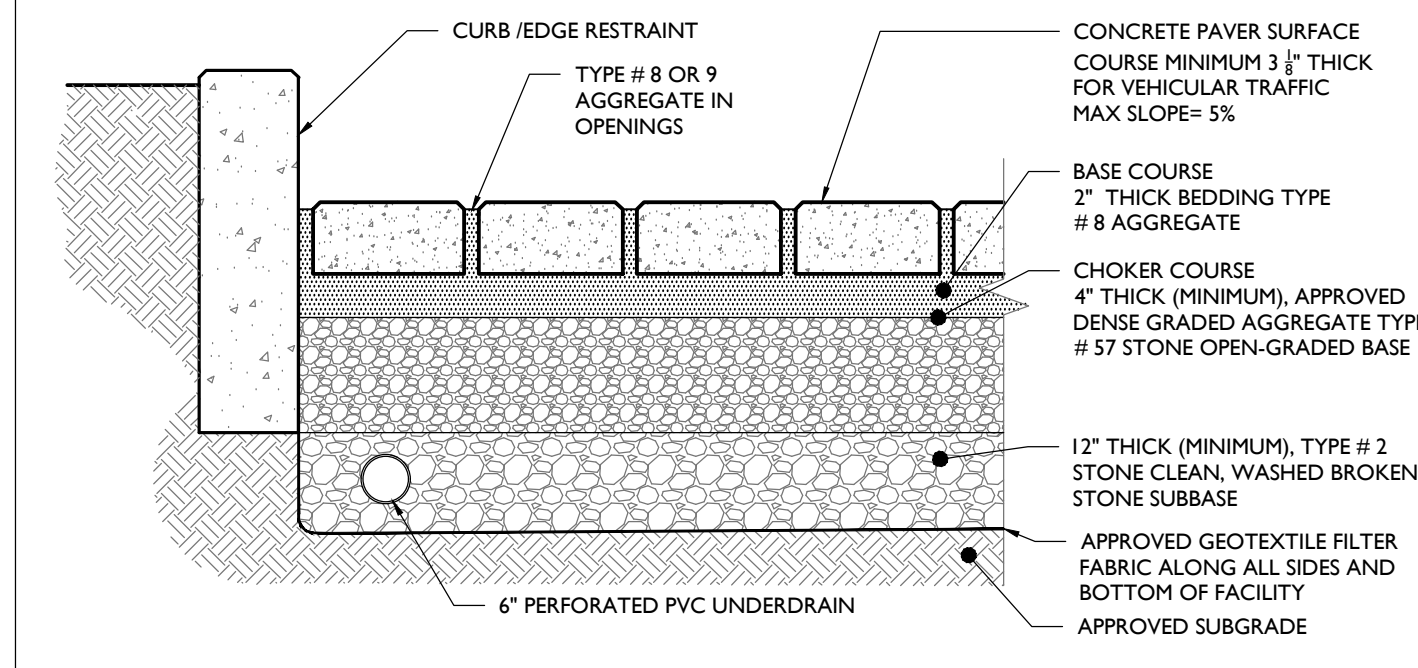
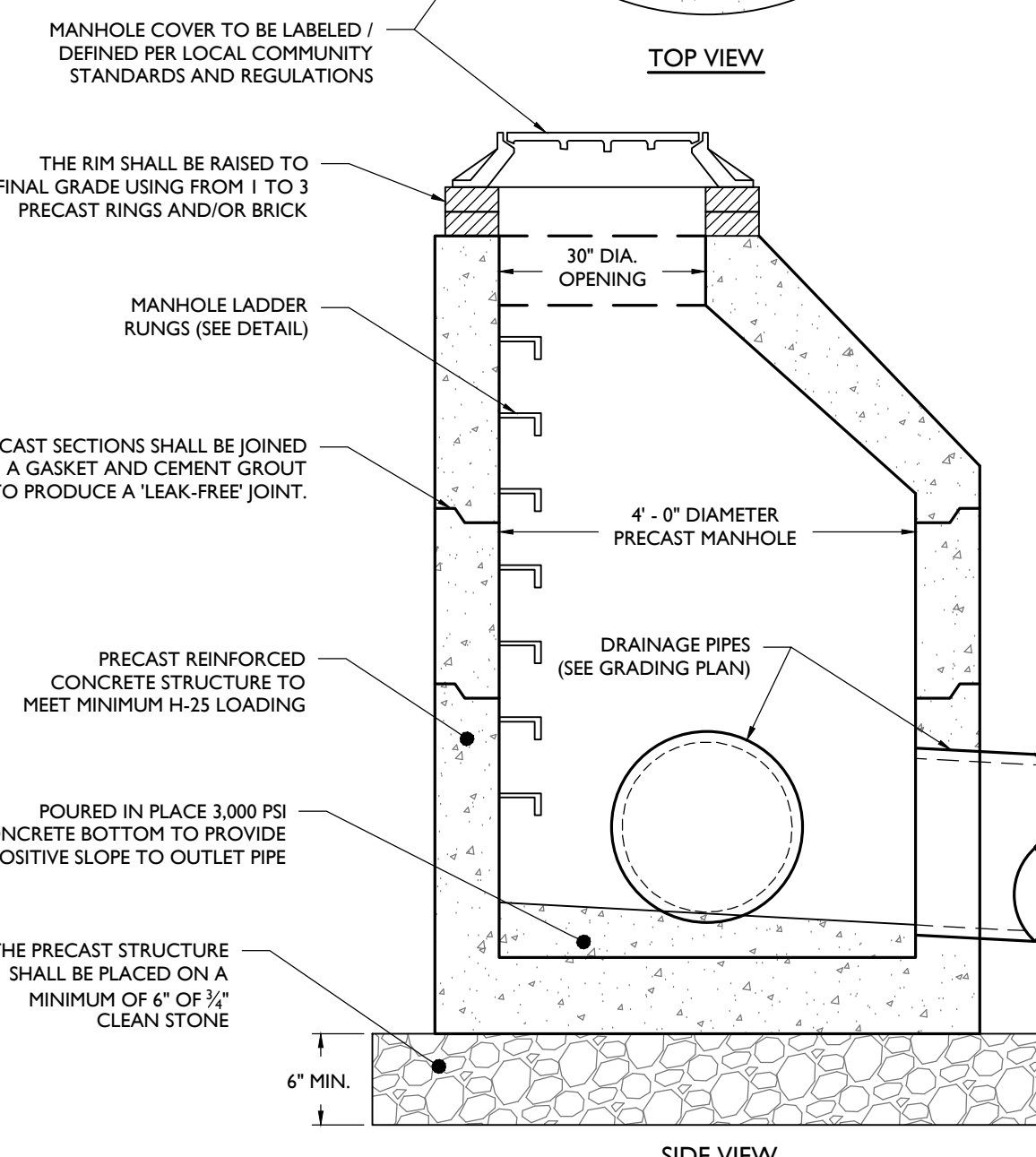
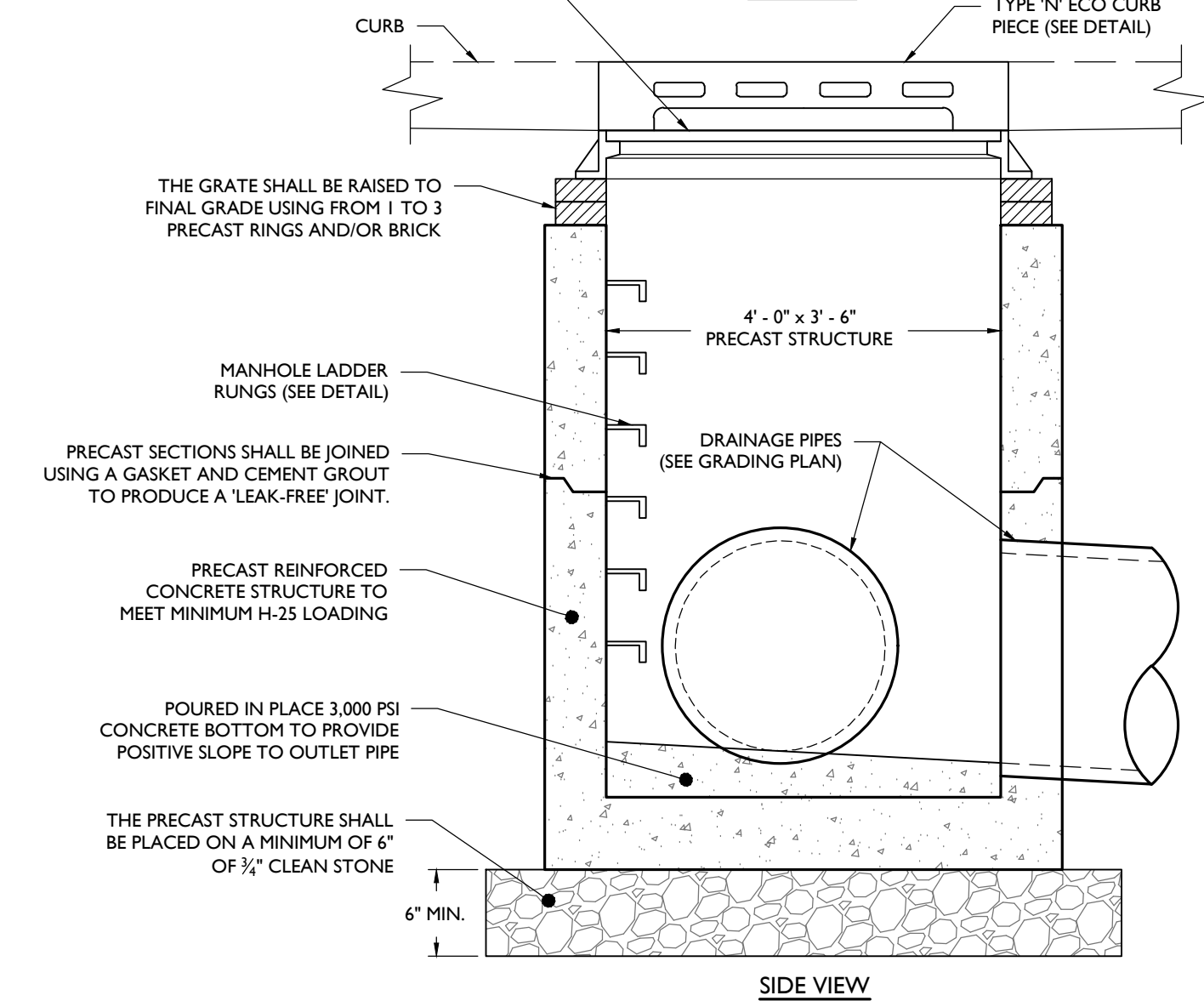
9



**PAVEMENT MILLING & OVERLAY DETAIL**

NOT TO SCALE

6



**PERMEABLE INTERLOCKING PAVER DETAIL**

NOT TO SCALE

- NOTES:
- PERVIOUS PAVEMENT SHALL BE IN ACCORDANCE WITH NJ STORMWATER BEST MANAGEMENT PRACTICES MANUAL, CHAPTER 9.6.
  - FILTER FABRIC IS REQUIRED ALONG THE SIDES AND BOTTOM OF THE SYSTEM TO PREVENT MITIGATION OF FINES FROM THE SURROUNDING SOIL.
  - THE STORAGE BED IN THIS TYPE OF SYSTEM CONSISTS OF AN AGGREGATE LAYER AND AN UNDERDRAIN, WHICH IS A NETWORK OF PIPES THAT COLLECT RUNOFF AND TRANSPORT IT TO THE OUTFLOW SECTION OF THE SYSTEM.
  - THE AGGREGATE LAYER MUST HAVE SUFFICIENT DEPTH TO PROVIDE AT LEAST 3 INCHES OF AGGREGATE ABOVE AND BELOW THE PIPE NETWORK. IT MUST CONSIST OF CLEAN, WASHED, OPEN-GRADED AASHTO NO. 2 BROKEN STONE.
  - WITHIN THE AGGREGATE LAYER, THE NETWORK OF PIPES MUST BE ABLE TO WITHSTAND THE DESIGN LOADS.
  - THE MANHOLE OR OTHER MECHANISMS USED TO COLLECT FLOW FROM THE PERVIOUS PAVING SYSTEM MUST BE NON-PERFORATED.
  - ALL JOINTS MUST BE SECURE AND WATERTIGHT.
  - THE CAPACITY OF THE UNDERDRAIN MUST BE SUFFICIENT TO ALLOW THE SYSTEM TO DRAIN WITHIN 72 HOURS.
  - THE SEASONAL HIGH WATER TABLE (SHWT) OR BEDROCK MUST BE AT LEAST 1 FOOT BELOW THE BOTTOM OF THE STORAGE BED.
  - AT LEAST ONE INSPECTION PORT, WITH A REMOVABLE CAP, MUST BE PROVIDED AT THE UPSTREAM AND DOWNSTREAM ENDS OF THE PERFORATED SECTION OF THE NETWORK OF PIPES AND BE FLUSH WITH THE SURFACE OF THE SURFACE LAYER AND EACH LOCATION DENOTED IN THE MAINTENANCE PLAN. EACH INSPECTION PORT MUST BE PLACED AT LEAST 3 FEET FROM ANY EDGE. THE SIZE OF THE INSPECTION PORT MUST BE LARGE ENOUGH TO ALLOW FOR MAINTENANCE ACTIVITIES. ADDITIONALLY, EACH INSPECTION PORT MUST EXTEND DOWN TO THE UNDERDRAIN PIPE NETWORK.
  - CONCRETE PAVERS MUST CONFORM TO ASTM C936 AND HAVE A MINIMUM THICKNESS OF 3.125 INCHES WHEN SUBJECT TO VEHICULAR TRAFFIC.
  - IF THE PROPOSED EDGE RESTRAINT IS FLUSH CURB, THE SUBGRADE OR BASE MATERIAL UNDER THE CURB PORTION ONLY MUST BE COMPACTED.
  - PAVER UNITS MUST BE INSTALLED OVER A BEDDING COURSE CONSISTING OF CLEAN, WASHED OPEN-GRADED AASHTO NO. 8 BROKEN STONE.
  - THE MINIMUM CHOKER COURSE THICKNESS IS 4 INCHES.
  - STORAGE BED AGGREGATE MUST BE CLEAN, WASHED AND OPEN-GRADED AASHTO NO. 2 BROKEN STONE.
  - POST-CONSTRUCTION TESTING OF THE PERMEABLE INTERLOCKING PAVER UNIT SURFACE COURSE IS REQUIRED AND MUST CONFORM TO THE METHODS OF ASTM C1781 STANDARD TEST METHOD FOR SURFACE INFILTRATION RATE OF PERMEABLE UNIT PAVEMENT SYSTEMS.
  - PERMEABLE INTERLOCKING PAVER UNITS MINIMUM INFILTRATION RATE = 6.4 INCHES/HR.

10

PK	DATE	ISSUE	DESCRIPTION
1	10/20/23		FOR MUNICIPAL SUBMISSION

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Phone 201.340.4468 · Fax 201.340.4472

PRELIMINARY AND FINAL SITE PLAN

**V-FEE MENDHAM APARTMENTS, LLC**

PROPOSED MULTI-FAMILY RESIDENTIAL DEVELOPMENT

BLOCK 801, LOT 20  
84-90 EAST MAIN STREET  
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MORRIS COUNTY, NEW JERSEY

STATE OF NEW JERSEY  
NEW JERSEY ENGINEER  
No. GE48731  
MATTHEW WASECKLER, P.E.  
NEW JERSEY LICENSE NO. 4871  
LICENSED PROFESSIONAL ENGINEER

**STONEFIELD**  
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SCALE: N.T.S. PROJECT ID: RUT-200218

TITLE: CONSTRUCTION DETAILS

DRAWING: C-22

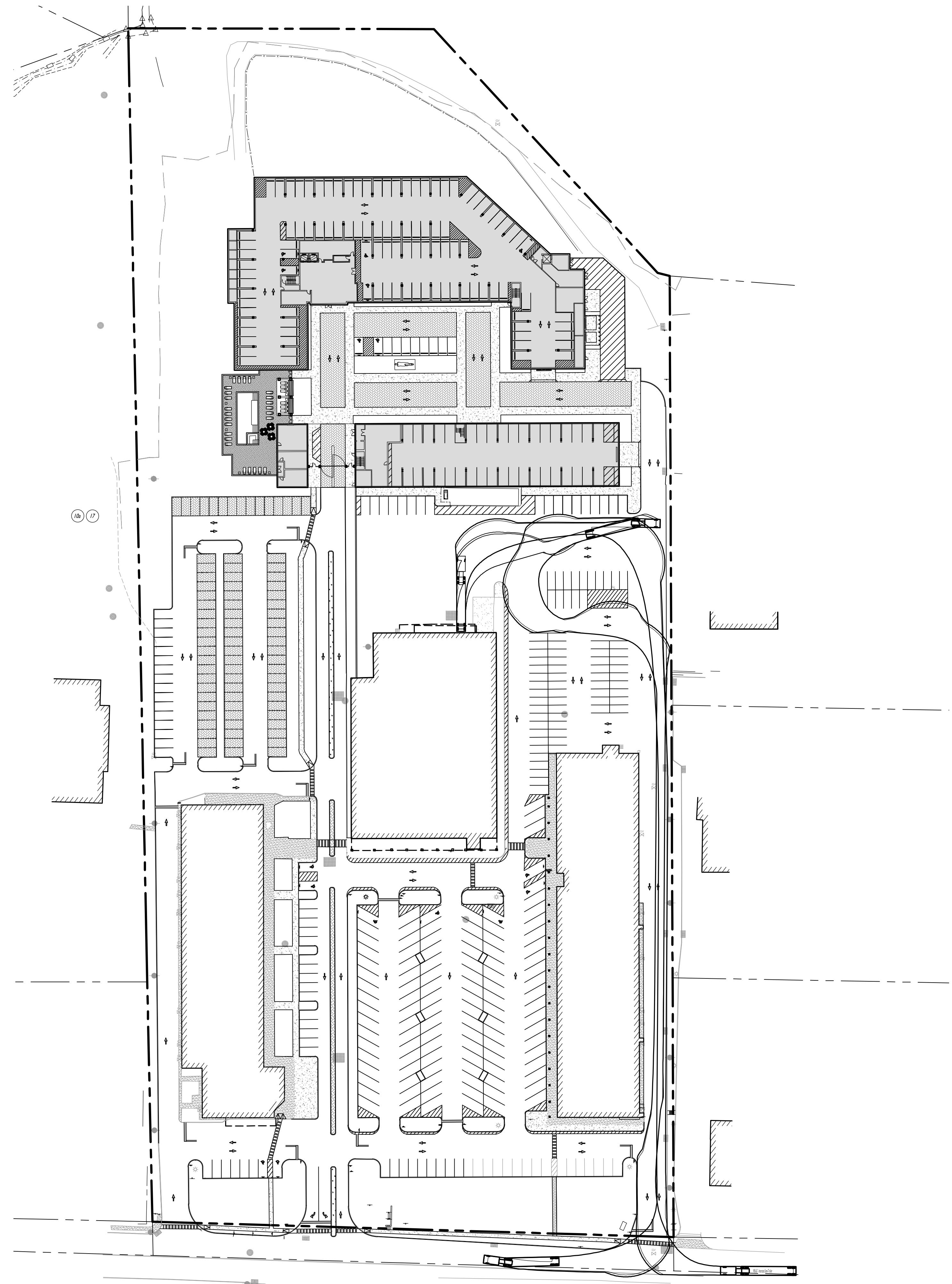
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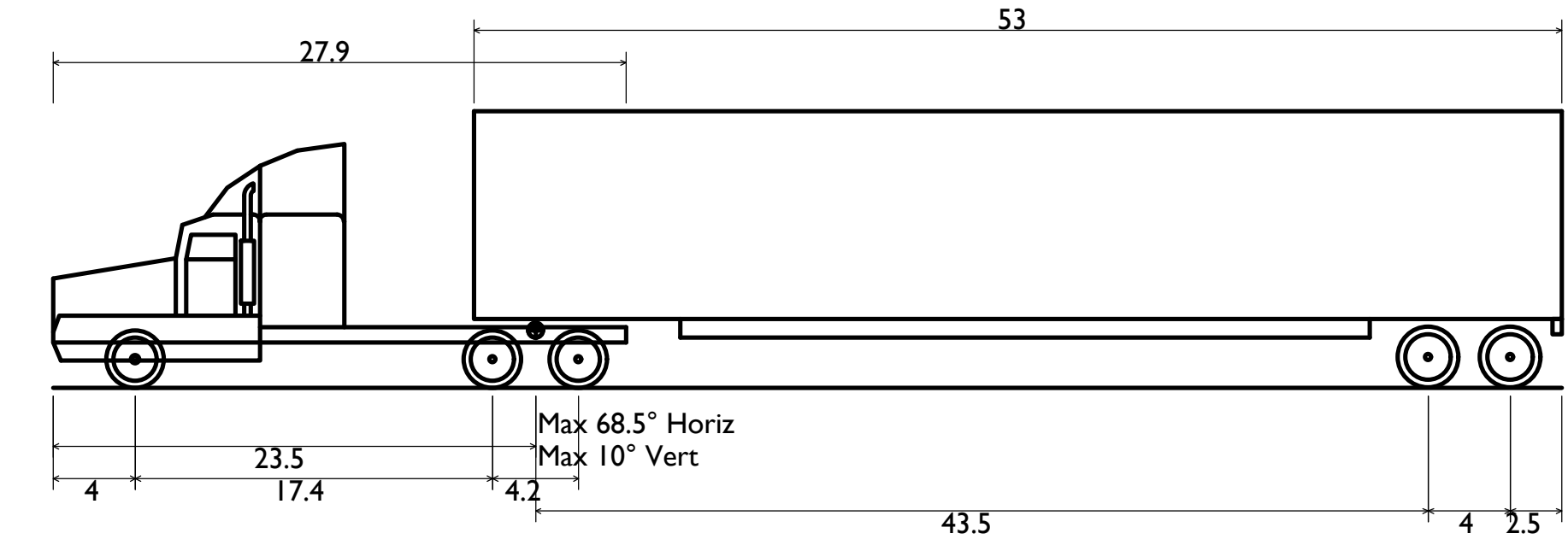
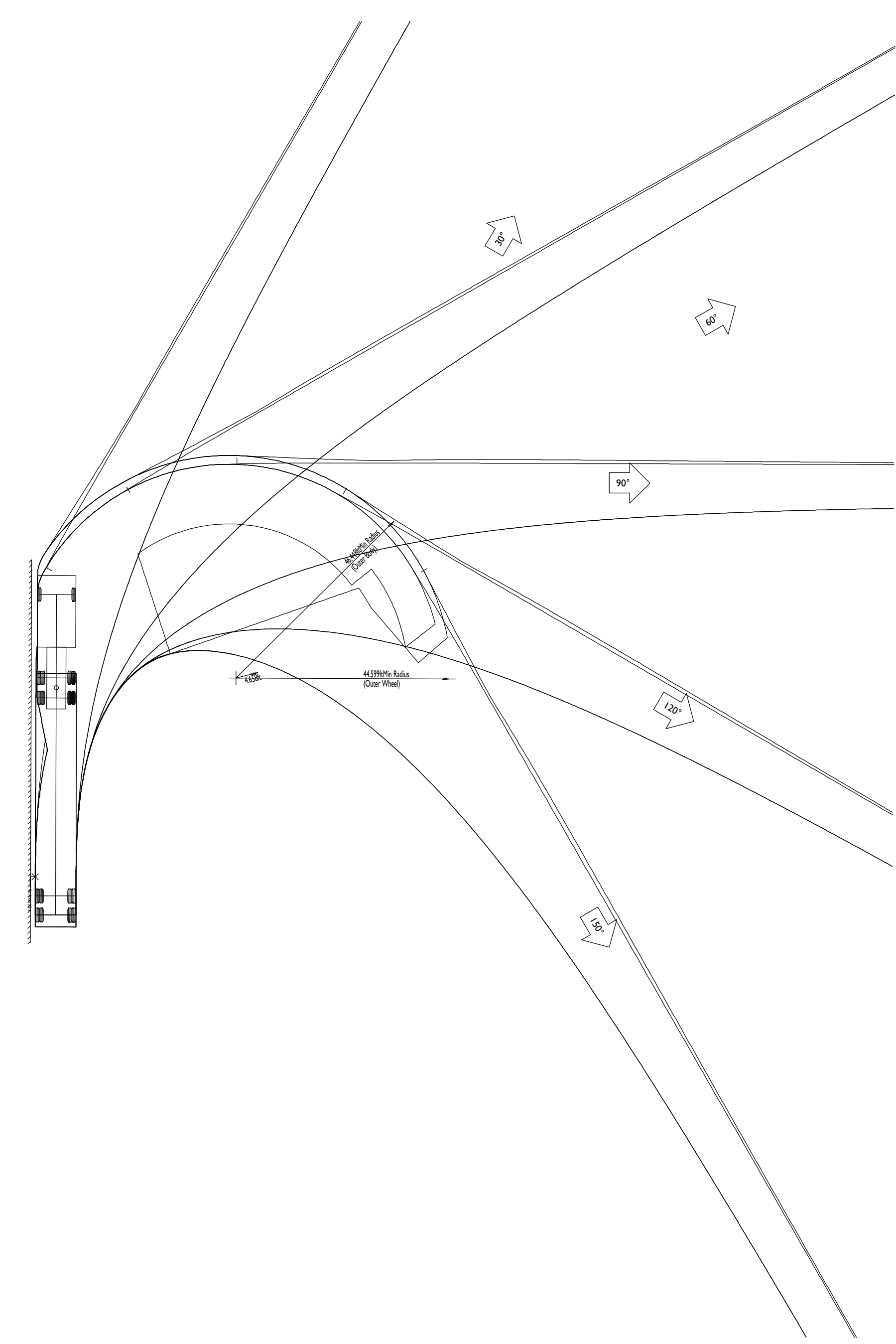




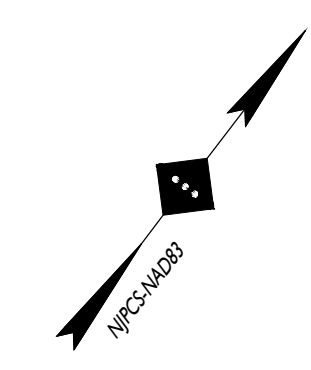
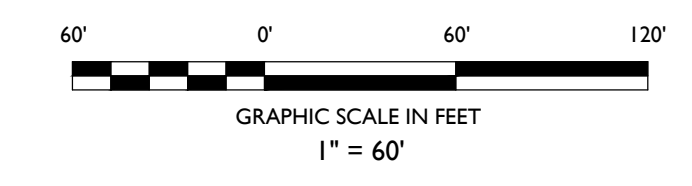
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**EAST MAIN STREET**  
(66' WIDE RIGHT OF WAY PER TAX MAP)



**WB-67 - Interstate Semi-Trailer**  
 Overall Length 73.50 ft  
 Overall Width 8.500 ft  
 Overall Body Height 13.500 ft  
 Min Body Ground Clearance 1.334 ft  
 Max Track Width 8.500 ft  
 Lock-to-lock time 6.00s  
 Max Steering Angle (Virtual) 28.40°



PK	DATE	BY	DESCRIPTION
1	10/20/2021		FOR MUNICIPAL SUBMISSION

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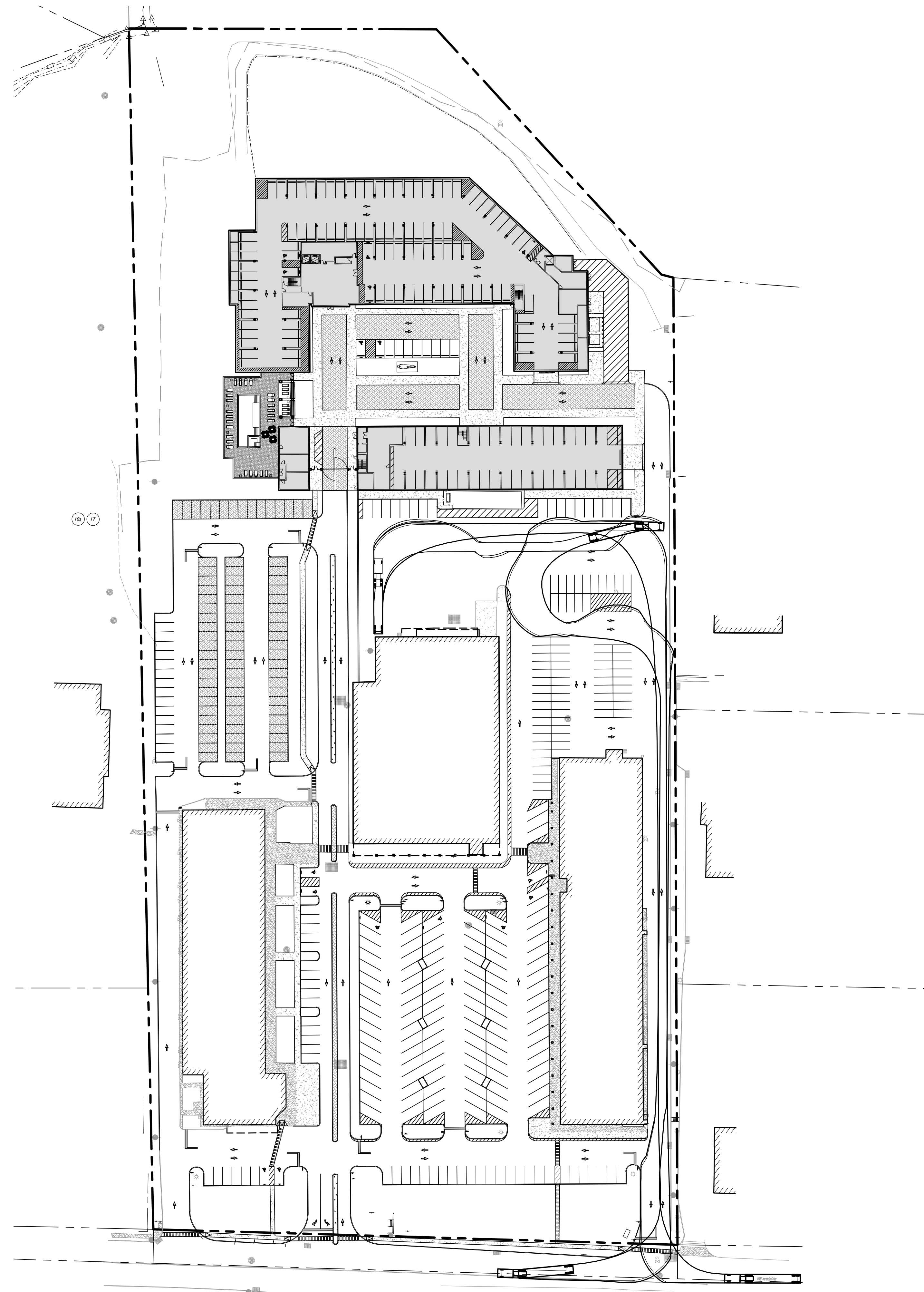
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SCALE: 1" = 60' PROJECT ID: RUT-200218

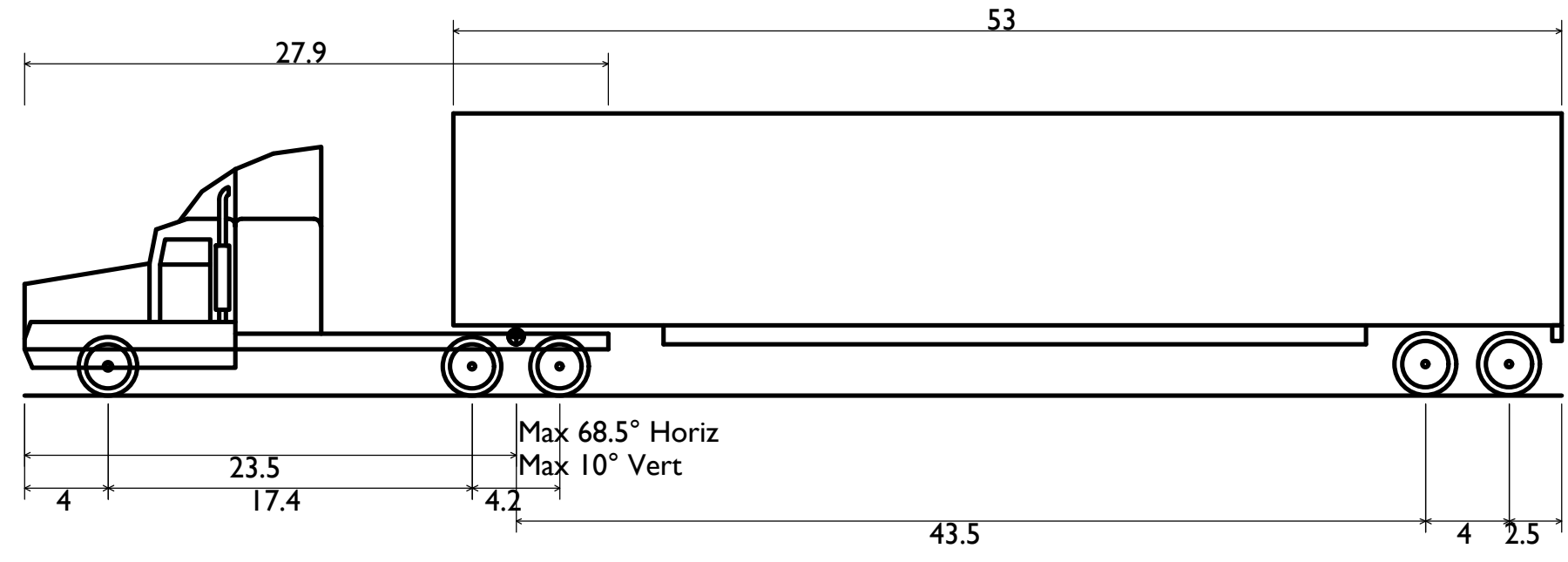
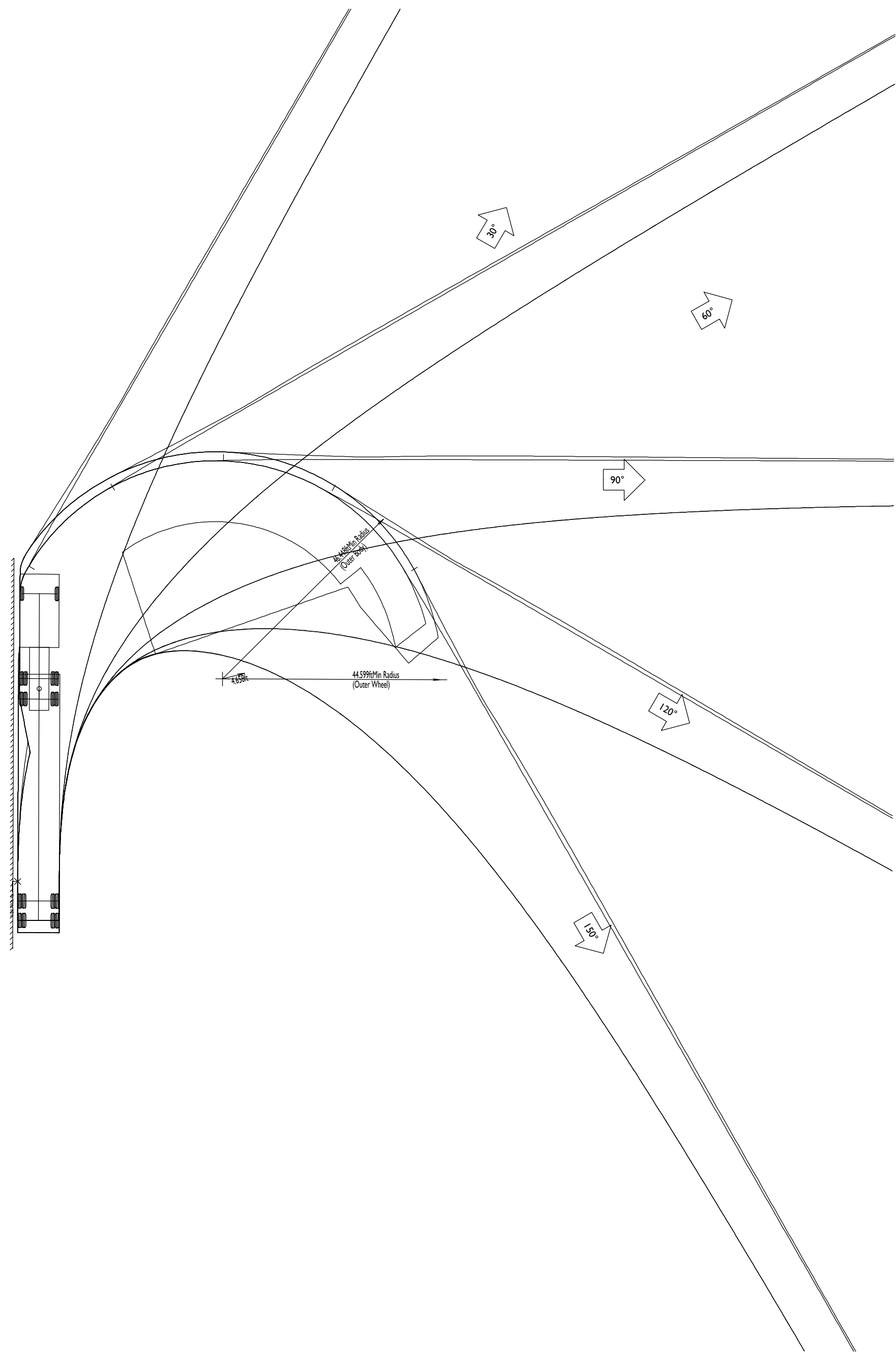
TITLE:  
**TRUCK TURNING (WB-67)**

DRAWING:  
**C-25**

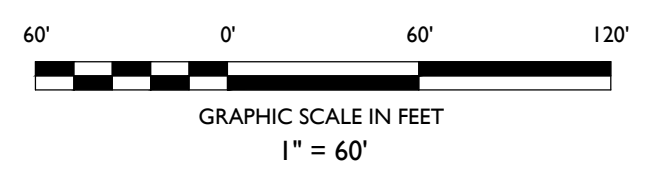
2: MULTIPERSONAL/23028/07/2002/180/0 DEVELOPMENT - 440 EAST MAIN STREET, HENSHAW, NEW JERSEY, LOT 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000



**EAST MAIN STREET**  
(66' WIDE RIGHT OF WAY PER TAX MAP)



**WB-67 - Interstate Semi-Trailer**  
 Overall Length 73.50 ft  
 Overall Width 8.50 ft  
 Overall Body Height 13.50 ft  
 Min Body Ground Clearance 1.334 ft  
 Max Track Width 8.50 ft  
 Lock-to-lock time 6.00s  
 Max Steering Angle (Virtual) 28.40°



PK	DATE	BY	DESCRIPTION
1	10/20/2018		FOR MUNICIPAL SUBMISSION

NOT APPROVED FOR CONSTRUCTION

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PRELIMINARY AND FINAL SITE PLAN

**V-FEE MENDHAM APARTMENTS, LLC**

**PROPOSED MULTI-FAMILY RESIDENTIAL DEVELOPMENT**

BLOCK 801, LOT 20  
 84-90 EAST MAIN STREET  
 BOROUGH OF MENDHAM  
 MORRIS COUNTY, NEW JERSEY

STATE OF NEW JERSEY  
 MATTHEW WASECKLER, P.E.  
 NEW JERSEY LICENSE No. 48731  
 LICENSED PROFESSIONAL ENGINEER

**STONEFIELD**  
engineering & design

SCALE: 1" = 60' PROJECT ID: RUT-200218

TITLE:  
**TRUCK TURNING (WB-67)**

DRAWING:  
**C-26**



