

**SURVEY NOTES**

- THIS SURVEY AND THE BOUNDARIES SHOWN HEREON ARE THE RESULT OF AN ACTUAL FIELD SURVEY PERFORMED DURING AUGUST 10, 2022, BASED ON AVAILABLE MAPS AND RECORDS OF RECORD, AND PHYSICAL EVIDENCE. THIS SURVEY IS SUBJECT TO ALL EASEMENTS, RIGHTS OF WAY, AND AGREEMENTS OF RECORD THAT A TITLE SEARCH MAY DISCLOSE.
- THIS SURVEY IS VALID ONLY WHEN A DIGITAL OR EMBOSSED SEAL IS AFFIXED HERETO.
- THE CERTIFICATION SHOWN HEREON IS NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.
- ANY SUBSURFACE UTILITIES SHOWN HAVE BEEN LOCATED FROM MANHOLETS OBSERVED ON SITE DURING THE FIELD SURVEY, AND SURFACE FEATURES SUCH AS VALVES, MANHOLES AND GRATES, STORM DRAINAGE AND/OR SANITARY INVERTS ARE DERIVED BASED ON OBSERVATIONS MADE IN THE FIELD. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED, ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION USED. THE SURVEY HAS NOT PHYSICALLY LOCATED THE UTILITIES BEFORE ANY EXCAVATIONS ARE BEGUN. THE PROPER UTILITY AGENCIES MUST BE CONTACTED FOR VERIFICATION OF UTILITY TYPE AND FOR FIELD LOCATIONS.
- BEARINGS ARE REFERENCED TO THE NEW JERSEY STATE PLANE COORDINATE SYSTEM (NAD 83).
- BASEMENT OR BELOW GRADE STRUCTURES (IF ANY) UNKNOWN.
- A WRITTEN WAIVER AND DIRECTION NOT TO SET CORNER MARKERS HAS BEEN OBTAINED FROM THE ULTIMATE USER PURSUANT TO P.L. 2003, C.14 (458-43), AND N.J.A.C. 17:45-5.1(d).
- 335 PARKING STALLS AND 5 HANDICAP PARKING STALLS WERE DELINEATED ON SITE DURING THE TIME OF FIELD WORK.
- NO EVIDENCE OF RECENT EARTH WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS WERE OBSERVED IN THE PROCESS OF COMPLETION AT THE TIME OF SURVEY.
- NO PROPOSED CHANGES IN THE STREET RIGHT OF WAY LINE HAVE BEEN MADE AVAILABLE TO THE SURVEYOR BY THE CONTROLLING DISTRICT OR EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS WERE OBSERVED IN THE PROCESS OF CONDUCTING FIELD WORK.

**SURVEY REFERENCES**

- DEED BETWEEN MENDHAM INVESTMENT COMPANY, L.P., A LIMITED PARTNERSHIP OF THE STATE OF NEW JERSEY (GRANTOR) AND V-FEE REALTY INVESTMENT, LLC (GRANTEE), RECORDED ON DECEMBER 20, 2005 AS D.B. 6514 PG. 250 (BLOCK 801 LOT 20).
- TAX MAP - BOROUGH OF MENDHAM - MORRIS COUNTY - NJ
- A CERTAIN PLAN ENTITLED "UTILITY AND GPR SURVEY PLAN - PROPOSED RESIDENTIAL REDEVELOPMENT 80-90 EAST MAIN STREET MENDHAM" PREPARED BY WHITESTONE ASSOCIATES LLC, DATED 10/24/2020.
- TITLE COMMITMENT PREPARED BY CHICAGO TITLE INSURANCE COMPANY, ISSUING OFFICE FILE NUMBER CA10939-21, WITH A COMMITMENT DATE OF JUNE 11, 2021.

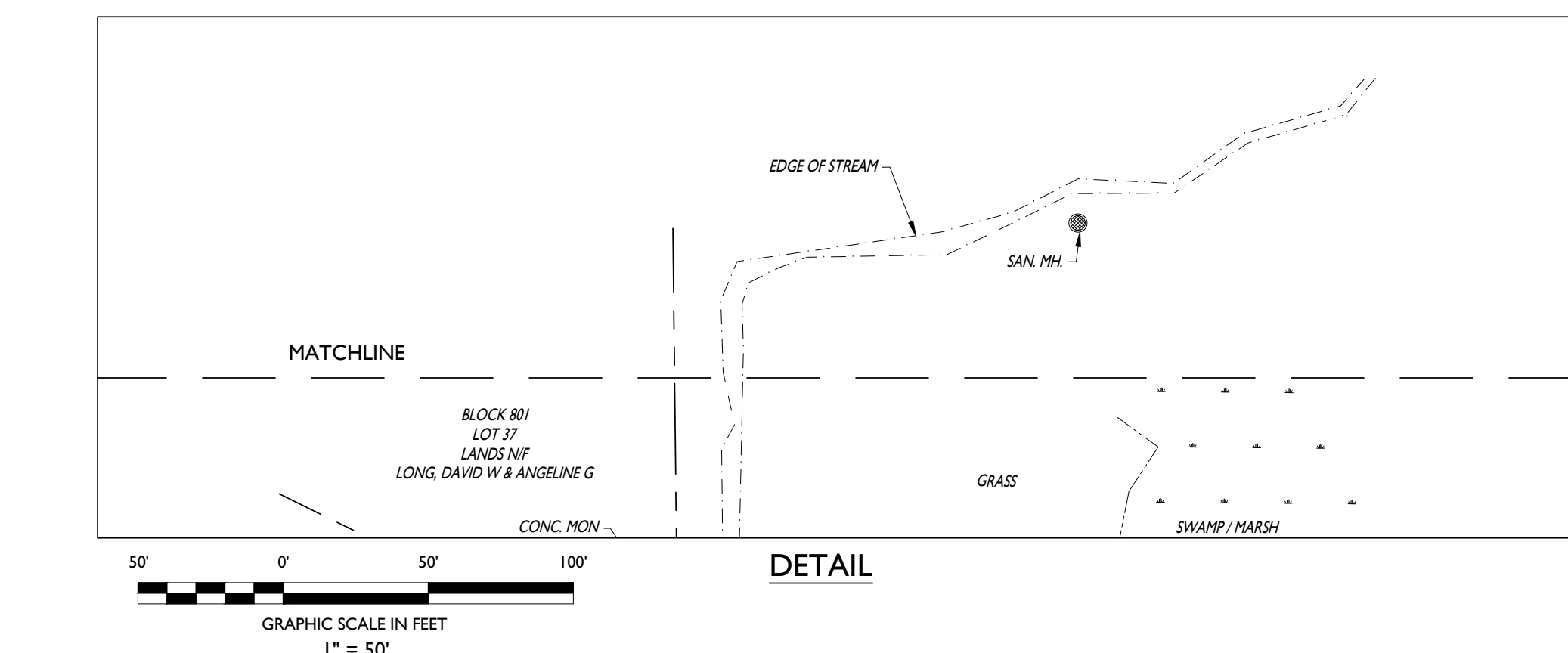
**SURVEYORS DESCRIPTION**

BEGINNING AT A POINT IN THE NORTHERLY LINE OF EAST MAIN STREET (66' WIDE, A.K.A. NEW JERSEY STATE HIGHWAY 24), WHERE THE SAME IS INTERSECTED BY THE NORTHEASTERLY SIDELINE OF LANDS NOW OR FORMERLY OF DEL. GUBERCO, HAVING COORDINATES N79°47'82. E467513.38 IN THE NEW JERSEY STATE PLANE COORDINATE SYSTEM (NAD83), RUNNING THENCE:

- ALONG THE COMMON LINE OF TAX LOT 20 AND TAX LOT 21, N 38°34'16" W 267.78' TO A POINT IN THE LINE OF TAX LOT 25, THENCE
- ALONG THE COMMON LINE OF TAX LOT 20 AND TAX LOT 25, N 38°27'48" W 893.14' TO A POINT IN THE SAME, THENCE
- ALONG THE SAME, N 34°20'47" W 3.57' TO A POINT IN THE LINE OF TAX LOT 44 (BLOCK 501); THENCE
- ALONG THE COMMON LINE OF TAX LOT 20 AND TAX LOT 44 (BLOCK 501), N 52°50'09" E 298.10' TO A POINT IN THE SAME, THENCE
- ALONG THE SAME, S 79°50'44" E 322.79' TO A POINT IN THE SAME, THENCE
- ALONG THE SAME, N 66°18'14" E 12.07' TO A POINT IN THE LINE OF TAX LOT 19; THENCE
- ALONG THE COMMON LINE OF TAX LOT 20 AND TAX LOTS 19, 18, & 17, S 37°32'34" E 937.77' TO A POINT IN THE NORTHERLY LINE OF SAID EAST MAIN STREET; THENCE
- ALONG SAID LINE, S 54°22'24" W 508.60' TO THE POINT AND PLACE OF BEGINNING, CONTAINING AN AREA OF 577,865 S.F. OR 13.266 ACRES.

**FLOOD NOTE**

FLOOD INSURANCE MAP NUMBER 340500001A  
EFFECTIVE DATE 11/14/1992  
NO DIGITAL DATA AVAILABLE, NOT PRINTED



**SCHEDULE A-5 (LEGAL DESCRIPTION)**

ALL THAT CERTAIN LOT, PIECE OR PARCEL OF LAND, WITH THE BUILDINGS AND IMPROVEMENTS THEREON ERRECTED, SITUATE, LYING AND BEING IN THE BOROUGH OF MENDHAM IN THE COUNTY OF MORRIS, STATE OF NEW JERSEY;

BEGINNING AT A POINT ON THE CENTERLINE OF N.J.S.H.W. ROUTE NO. 24, A.K.A. EAST MAIN STREET, A.K.A. WASHINGTON TURNPIKE, (66 FOOT WIDE RIGHT OF WAY), WHERE THE SAME IS INTERSECTED BY THE NORTHEASTERLY SIDELINE OF LANDS NOW OR FORMERLY OF ROMANO, AND RUNNING THENCE:

- ALONG LANDS NOW OR FORMERLY OF ROMANO, NORTH 27 DEGREES 54 MINUTES 00 SECONDS WEST, A DISTANCE OF 300.82 FEET TO AN IRON PIPE, THENCE
- ALONG LANDS NOW OR FORMERLY OF LEWIS, NORTH 27 DEGREES 47 MINUTES 32 SECONDS WEST, A DISTANCE OF 893.16 FEET TO A POINT, THENCE
- NORTH 25 DEGREES 40 MINUTES 31 SECONDS WEST, A DISTANCE OF 137 FEET TO A POINT; THENCE
- NORTH 63 DEGREES 30 MINUTES 20 SECONDS EAST A DISTANCE OF 298.10 FEET TO A CONCRETE MONUMENT, THENCE
- SOUTH 49 DEGREES 10 MINUTES 28 SECONDS EAST A DISTANCE OF 322.79 FEET TO A POINT, THENCE
- NORTH 76 DEGREES 58 MINUTES 30 SECONDS EAST A DISTANCE OF 12.07 FEET TO AN IRON PIPE, THENCE
- SOUTH 26 DEGREES 53 MINUTES 30 SECONDS EAST, A DISTANCE OF 970.79 FEET TO A POINT ON THE CENTERLINE OF SAID N.J.S.H.W. ROUTE NO. 24, THENCE
- ALONG SAID CENTERLINE, SOUTH 65 DEGREES 02 MINUTES 40 SECONDS WEST A DISTANCE OF 508.60 FEET TO THE POINT AND PLACE OF BEGINNING.

FOR INFORMATIONAL PURPOSES ONLY: ALSO KNOWN AS LOT 20 IN BLOCK 801 ON THE BOROUGH OF MENDHAM TAX MAP.

FOR INFORMATIONAL PURPOSES ONLY: BEING KNOWN AS TAX LOT 20 IN TAX BLOCK 801 ON THE OFFICIAL TAX MAP OF THE BOROUGH OF MENDHAM, MORRIS COUNTY, STATE OF NJ.

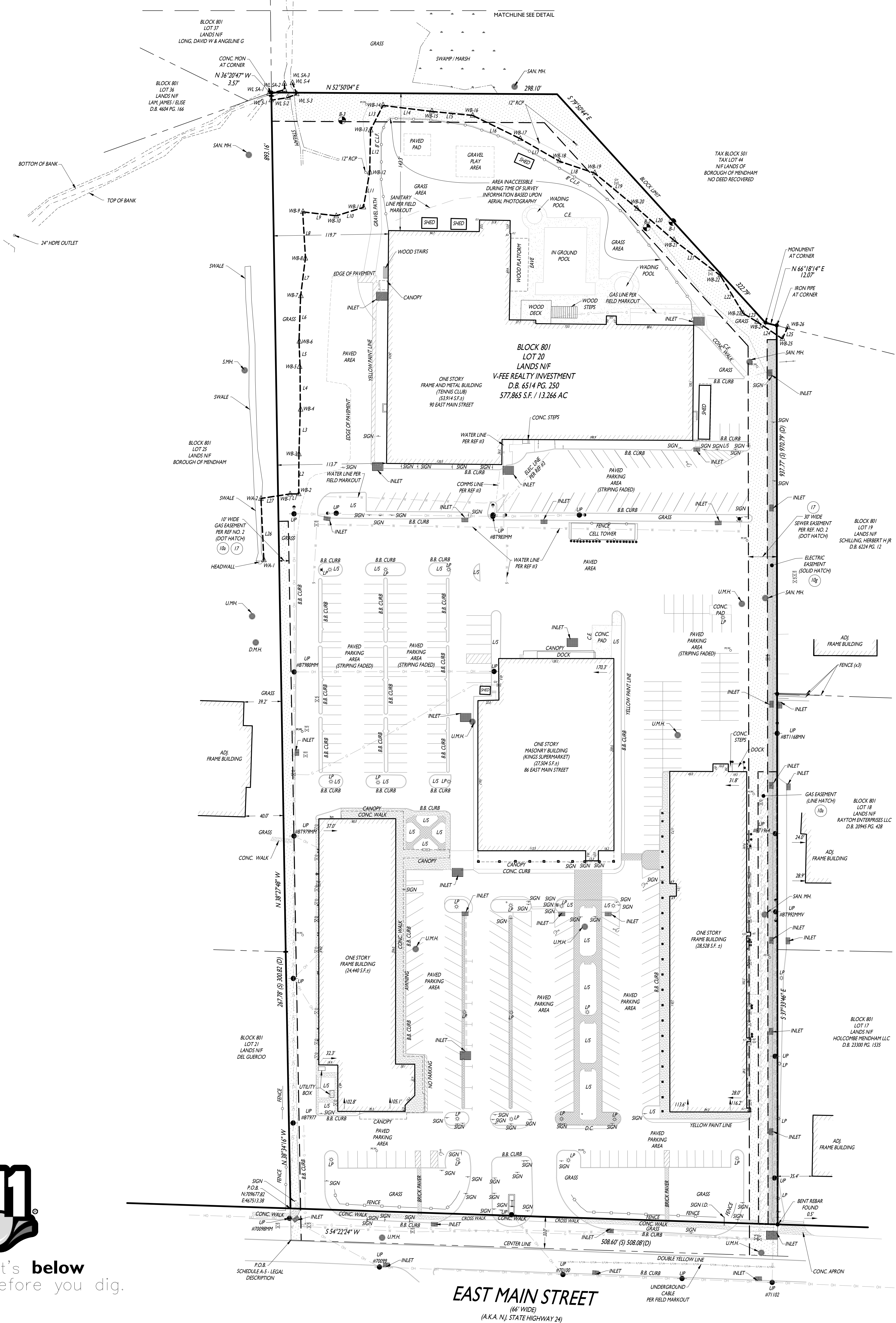
FOR INFORMATIONAL PURPOSES ONLY: THE MAILING ADDRESS IS: 84-86 E MAIN ST. MENDHAM, NJ 07945.

BEING THE SAME PROPERTY AS DESCRIBED IN A TITLE COMMITMENT PREPARED BY FIRST AMERICAN TITLE INSURANCE COMPANY, ISSUING OFFICE FILE NUMBER CBNJ-12276, WITH A COMMITMENT DATE OF JUNE 30, 2022.

**SCHEDULE B - PART II (EXCEPTIONS)**

- UTILITY EASEMENTS AS GRANTED IN DEED BOOK 1913, PAGE 626; DEED BOOK 1920, PAGE 779; DEED BOOK 1924, PAGE 1046; DEED BOOK 1945, PAGE 508; DEED BOOK 1952, PAGE 83; DEED BOOK 2392, PAGE 170; DEED BOOK 2749, PAGE 817.
- DEED BOOK 1913 PAGE 626 - (GAS EASEMENT, SHOWN)
- DEED BOOK 1920 PAGE 739 - (RIGHT OF WAY FOR UTILITY POLES & ELECTRIC EQUIPMENT, BLANKET IN NATURE, NOT PLOTTABLE, NOT SHOWN)
- DEED BOOK 1924 PAGE 1046 - (RIGHT OF WAY FOR UTILITY POLES & ELECTRIC EQUIPMENT, BLANKET IN NATURE, NOT PLOTTABLE, NOT SHOWN)
- DEED BOOK 1945 PAGE 508 - (RIGHT OF WAY FOR UTILITY POLES & ELECTRIC EQUIPMENT, BLANKET IN NATURE, NOT PLOTTABLE, NOT SHOWN)
- DEED BOOK 1952 PAGE 83 - (GAS EASEMENT, SHOWN)
- DEED BOOK 2392 PAGE 170 - (RIGHT OF WAY FOR UTILITY POLES & ELECTRIC EQUIPMENT, BLANKET IN NATURE, NOT PLOTTABLE, NOT SHOWN)
- DEED BOOK 2749 PAGE 817 - (ELECTRIC EASEMENT, SHOWN)
- SANITARY SEWER EASEMENT AS SET FORTH IN DEED BOOK 1912, PAGE 45.
- (EASEMENT AND RIGHT OF WAY, NOT PLOTTABLE, NOT SHOWN)
- BOUNDARY LINE AGREEMENT AS SET FORTH IN DEED BOOK 2390, PAGE 1.
- (BOUNDARY LINE AGREEMENT DESCRIBES PORTION OF PROPERTY LINE, SHOWN)
- TERMS, CONDITIONS AND EASEMENTS AS SET FORTH IN DEED BOOK 2397, PAGE 228.
- (AGREEMENT, BLANKET IN NATURE, NOT PLOTTABLE, NOT SHOWN)
- EASEMENTS AS SET FORTH ON THE TAX MAP OF THE BOROUGH OF MENDHAM.
- (10 FT GAS EASEMENT, SHOWN - 30 FT SEWER EASEMENT, SHOWN)
- EASEMENT AS SET FORTH IN DEED BOOK 23389, PAGE 1656.
- (UTILITY EASEMENT, BLANKET IN NATURE, NOT PLOTTABLE, NOT SHOWN)

TITLE COMMITMENT PREPARED BY FIRST AMERICAN TITLE INSURANCE COMPANY, ISSUING OFFICE FILE NUMBER CBNJ-12276, WITH A COMMITMENT DATE OF JUNE 30, 2022.



SYMBOL	DESCRIPTION
[Hatched Box]	BUILDING
[Dotted Line]	CONCRETE SIDEWALK / MAT
[Solid Line]	ASPHALT / CONCRETE CURB
[Dashed Line]	DEPRESSED CURB
[Dotted Line]	PROPERTY LINE
[Dashed Line]	CHAIN LINK FENCE
[Solid Line]	BOARD-ON-BOARD FENCE
[Dashed Line]	GUIDE RAIL
[Solid Line]	MAST ARM LP
[Dotted Line]	POLE
[Solid Line]	LP
[Symbol]	SIGNS
[Symbol]	WATER VALVE
[Symbol]	GAS VALVE
[Symbol]	DRAIN
[Symbol]	INLET
[Symbol]	MAN HOLE
[Symbol]	BOLLARDS
[Symbol]	MONITORING WELL
[Symbol]	BOX (ELEC, GAS, ETCSS)
[Symbol]	EDGE OF PAVEMENT
[Symbol]	CONCRETE EDGE
[Symbol]	BRICK EDGE
[Symbol]	OVERHEAD WIRE
[Symbol]	UNDERGROUND GAS LINE
[Symbol]	UNDERGROUND WATER LINE
[Symbol]	MAJOR CONTOUR
[Symbol]	MINOR CONTOUR
[Symbol]	GRADE SPOT SHOT
[Symbol]	TOP OF CURB SHOT
[Symbol]	BOTTOM OF CURB SHOT
[Symbol]	TOP OF WALL SHOT
[Symbol]	BOTTOM OF WALL SHOT
[Symbol]	HANDICAP PARKING
[Symbol]	LAND SCARP
[Symbol]	PICTURE LOCATION AND DIRECTION
[Symbol]	WETLAND DATA SHEET

GRAPHIC SCALE IN FEET  
1" = 50'

ZONING TABLE				
BLOCK 801, LOT 20				
ZONE:	EAST BUSINESS ZONE (EB)		EAST BUSINESS ZONE (EB) - AFFORDABLE HOUSING (EB-AH) OVERLAY	
	REQUIRED	EXISTING	REQUIRED	EXISTING
MINIMUM LOT AREA	1/2 AC (21,780 SF)	13.27 AC (577,865 SF)	3 AC (130,680 SF)	13.27 AC (577,865 SF)
MINIMUM LOT WIDTH	100 FT	510.9 FT	200 FT	510.9 FT
MINIMUM FRONT YARD SETBACK	50 FT	N/A	700 FT (TO PROPERTY LINE AT THE MAIN STREET ROW)	N/A
MINIMUM SIDE YARD SETBACK	50 FT	28.5 FT (EN)	50 FT	28.5 FT (EN)
MINIMUM REAR YARD SETBACK	50 FT	143.4 FT	50 FT	143.4 FT
MAXIMUM BUILDING HEIGHT (*)	2 STORIES / 35 FT	< 60 FT	4 STORIES OVER PARKING / 60 FT	< 60 FT
MAXIMUM IMPERVIOUS COVERAGE	75%	78.4% (452,785 SF)	80%	78.4% (452,785 SF)
MAXIMUM NUMBER OF UNITS	N/A	N/A	75 UNITS	N/A
MINIMUM RECREATIONAL AREA	N/A	N/A	5,000 SF	N/A

(EN) EXISTING NON-CONFORMITY  
(\*) VERTICAL DISTANCE TO THE TOP OF THE HIGHEST POINT OF THE BUILDING MEASURED FROM THE AVERAGE ELEVATION OF THE PROPOSED FINISHED GRADE AT EACH CORNER OF THE BUILDING NEXT TO THE FOUNDATION



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**ALTA / NSPS LAND TITLE SURVEY**

MAP OF SURVEY OF:  
**TAX MAP BLOCK 801 LOT 20**  
84 - 86 - 88 EAST MAIN STREET  
BOROUGH OF MENDHAM  
COUNTY OF MORRIS, STATE OF NEW JERSEY

ISSUE	DATE	BY	FIELD DATE	FIELD CREW	DESCRIPTION
I	09/30/2022	AG	08/10/2022	AW	FOR ISSUE

CERTIFIED TO: V-FEE REALTY INVESTMENTS, LLC, A NEW JERSEY LIMITED LIABILITY COMPANY; HOWARD J. FRINKER, PC FIRST AMERICAN TITLE INSURANCE COMPANY; CB TITLE GROUP, LLC; NATIXIS REAL ESTATE CAPITAL, LLC ITS SUCCESSORS AND/OR ASSIGNS AS THEIR INTERESTS MAY APPEAR.

THIS IS TO CERTIFY THAT THIS MAP OR PLAN AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALL-TERRAIN LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2, 3, 4, 6(a), 7(a), 8, 9, 11, 13, 16, 17, 18 & 19 OF TABLE A THEREOF.

THE FIELDWORK WAS COMPLETED ON AUGUST 10, 2022.

THOMAS F. MILLER  
NEW JERSEY LAND SURVEYOR No. 24CS0362400  
LICENSED PROFESSIONAL LAND SURVEYOR  
NEW JERSEY CERTIFICATE OF AUTHORIZATION No. 24GA2184500

SCALE: 1"=50' PROJECT ID: RUT-202108 SHEET: 1 OF 1

2: PLANNING AND DESIGN / 20220810 / 84-86-88 EAST MAIN STREET - MENDHAM, NJ - SURVEYING / 20220810 / ALTA / NSPS LAND TITLE SURVEY