

RIGHT SIDE ELEVATION  
1/16" SCALE



FRONT ELEVATION  
1/16" SCALE

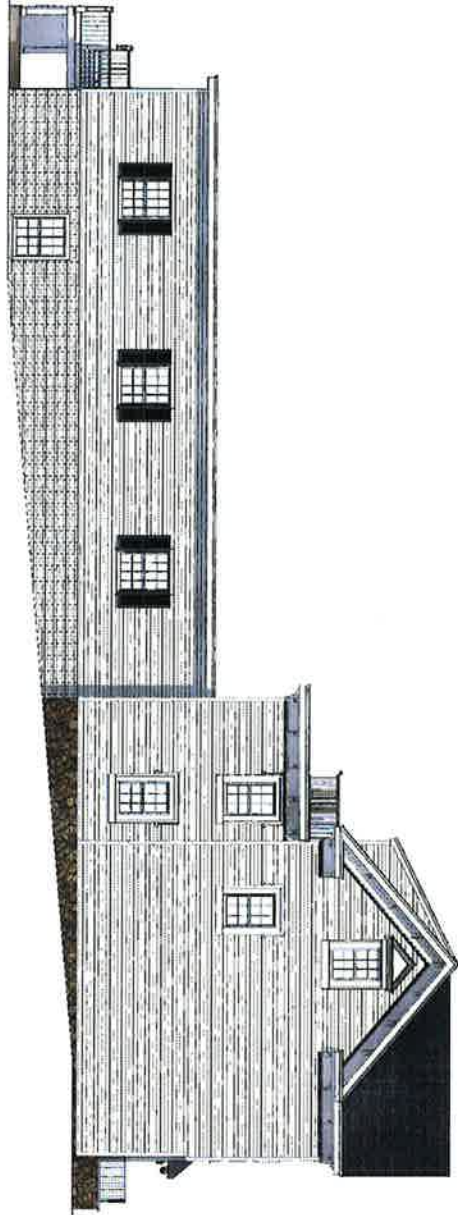
DATE: 5/15/20  
 JOB: 18101  
 SCALE: NOTED  
 SHEET:  
**1**

PROJECT: PROPOSED RENOVATIONS,  
 6 EAST MAIN STREET  
 BOROUGH OF MENDHAM, NJ

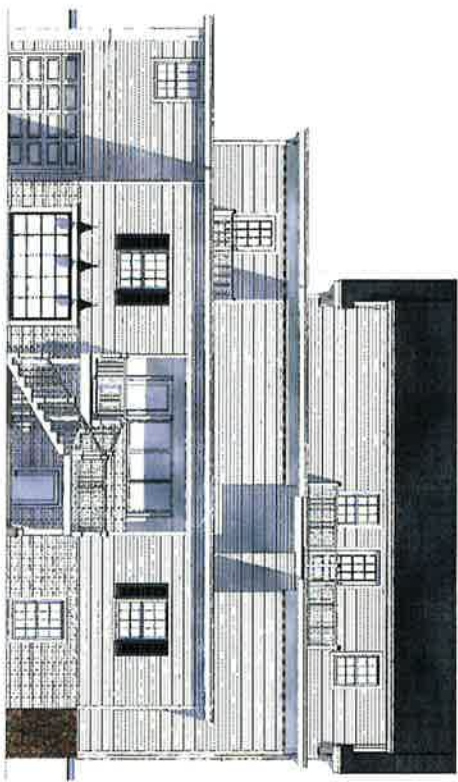
**Byrne Design Associates LLC.**  
 architecture / design / planning  
 10 MAIN STREET • CHESTER, NEW JERSEY 07930  
 PHONE (908) 879-0926 • FAX (908) 879-5997  
 WILLIAMBYRNEA@AOL.COM

revision 1

LEFT SIDE ELEVATION  
1/8" = 1'-0"



REAR ELEVATION  
1/8" = 1'-0"



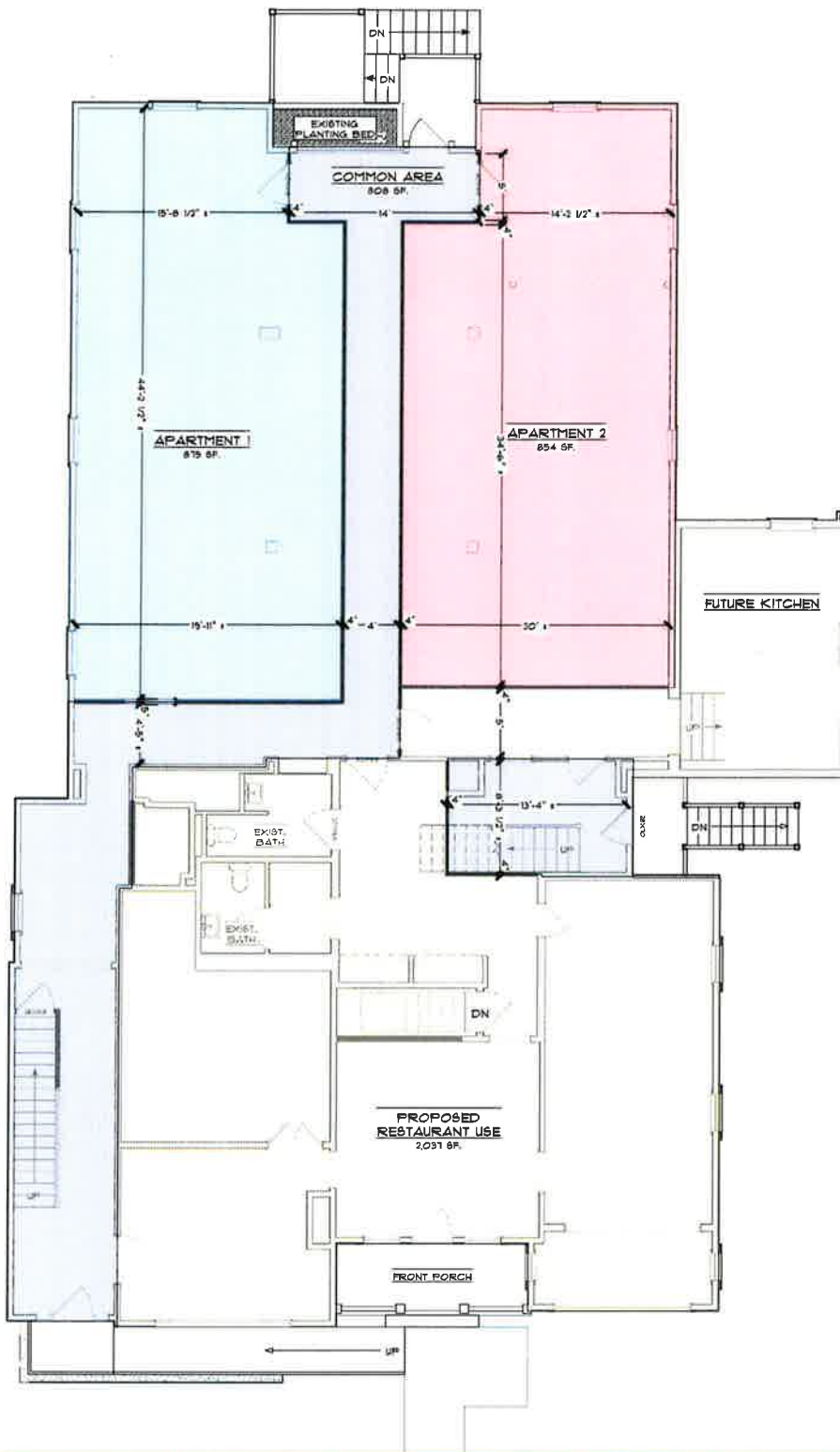
DATE: 8/15/20  
JOB # 18101  
SHEET NOTED  
SHEET #  
**2**

PROJECT: PROPOSED RENOVATIONS:  
6 EAST MAIN STREET  
BOROUGH OF MENDHAM, NJ

WILLIAM BYRNE ARCHITECT  
10 MAIN STREET • CHESTER, NJ 07930  
PHONE (908) 813-0956 • FAX (908) 813-9581  
WILLIAMBYRNE@AOL.COM

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WILLIAMBYRNE@AOL.COM

revision:



MAIN STREET

FIRST FLOOR PLAN  
SCALE: 1/4" = 1'-0"

DATE: 8/19/20  
DRAWN BY: BIC  
CHECKED BY:  
DATE: 8  
**3**

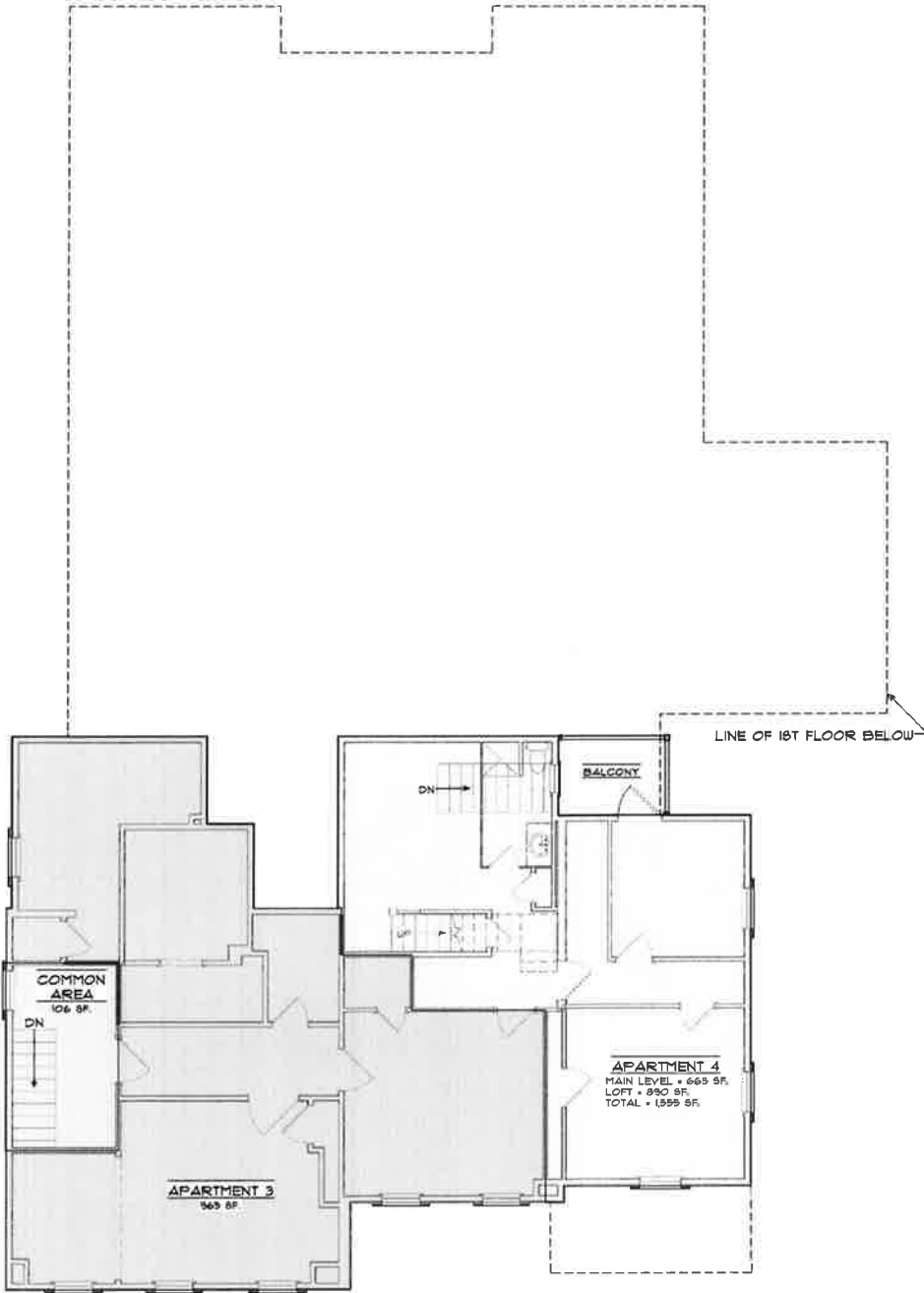
PROJECT: PROPOSED RENOVATIONS:  
6 EAST MAIN STREET  
BOROUGH OF HENDHAM, NJ

WILLIAM BYRNE ARCHITECT  
NEW JERSEY LICENSED ARCHITECT  
1000 W. 10TH ST. SUITE 100  
NEWARK, NJ 07102

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PHONE 908.787-0326 • FAX 908.787-5267  
WILLIAMBYRNE@AOL.COM

REVISION:



MAIN STREET

SECOND FLOOR PLAN  
SCALE: 1/4" = 1'-0"

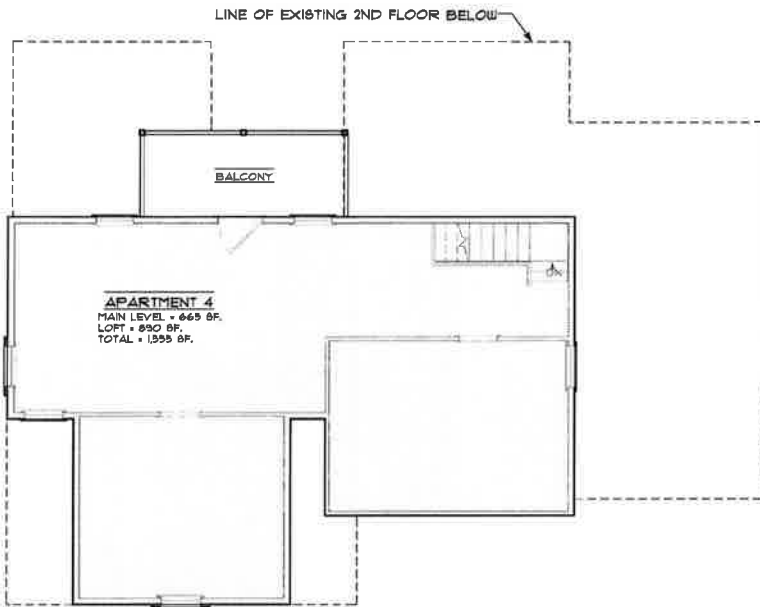
DATE: 5/19/20  
NO. 1: 18101  
REVISIONS NOTED  
SHEET #  
**4**

PROJECT: PROPOSED RENOVATIONS:  
6 EAST MAIN STREET  
BOROUGH OF MENDHAM, NJ

WILLIAM BYRNE ARCHITECT  
160 JACOB L. ...  
MENDHAM, NJ

**Byrne Design Associates LLC.**  
architecture / design / planning  
10 MAIN STREET • CHESTER, NEW JERSEY 07930  
PHONE (908) 878-0936 • FAX (908) 878-9987  
WILLIAMBYRNEAIA@AOL.COM

REVISION 1



MAIN STREET

LOFT PLAN  
 SCALE: 1/4" = 1'-0"

DATE: 8/19/20  
 JOB: 18101  
 SCALE: NOTED  
 SHEET:  
**5**

PROJECT: PROPOSED RENOVATIONS  
 @ EAST MAIN STREET  
 BOROUGH OF MENDHAM, NJ

WILLIAM BYRNE ASSOCIATES  
 10 MAIN STREET • CHESTER, NJ 07930  
 TEL: (609) 398-0350 • FAX: (609) 398-5287  
 WWW.BYRNEAIAAOL.COM

**Byrne Design Associates LLC.**  
 architecture / design / planning

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 PHONE (609) 398-0350 • FAX (609) 398-5287  
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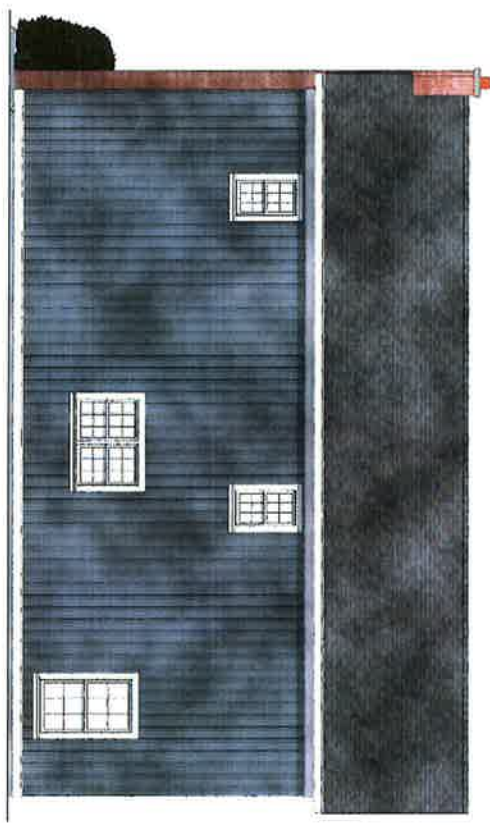
revision:



FRONT ELEVATION  
NOT TO SCALE



RIGHT SIDE ELEVATION  
NOT TO SCALE



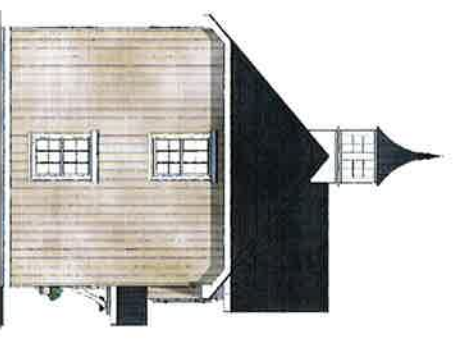
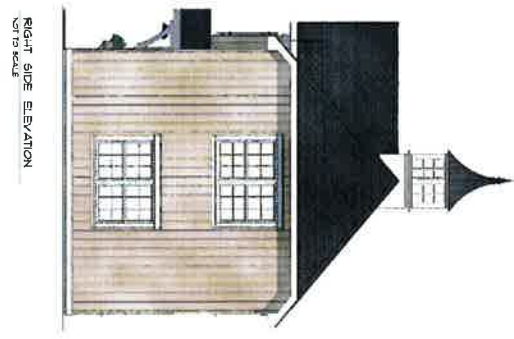
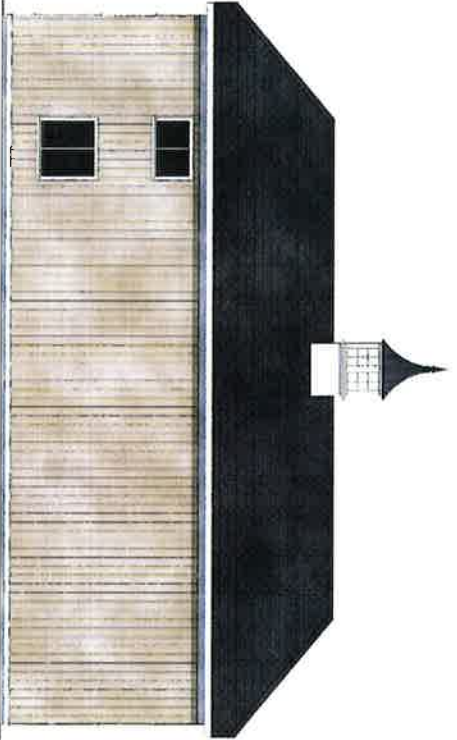
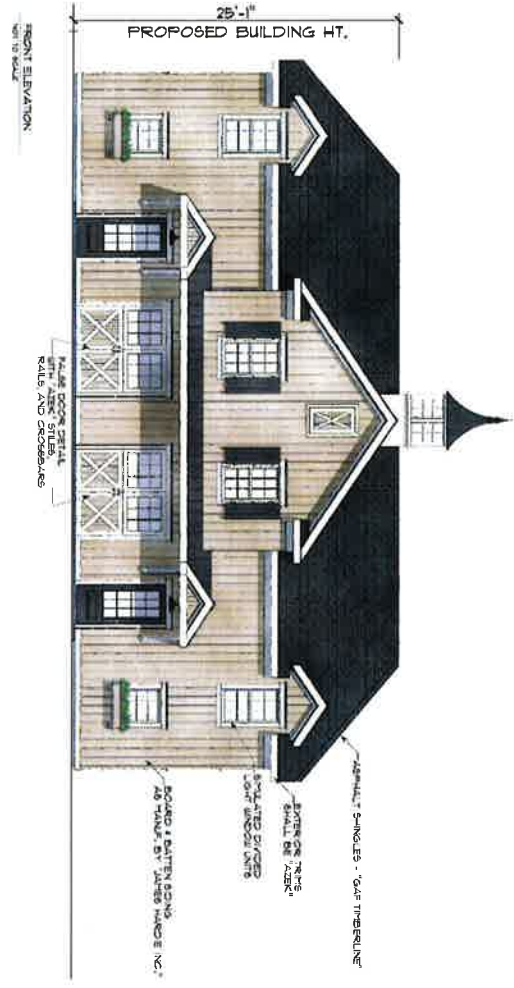
REAR ELEVATION  
NOT TO SCALE

DATE: 8/15/20  
 208 • 1810  
 SCALE: NOTED  
 SHEET #  
**6**

PROJECT: PROPOSED RENOVATIONS,  
 6 EAST MAIN STREET  
 BOROUGH OF MENDHAM, NJ

**Byrne Design Associates LLC.**  
 architecture / design / planning  
 10 MAIN STREET • CHESTER, NEW JERSEY 07930  
 PHONE (908) 873-0936 • FAX (908) 873-9987  
 WILLIAMBYRNEAIA@AOL.COM

REVISIONS

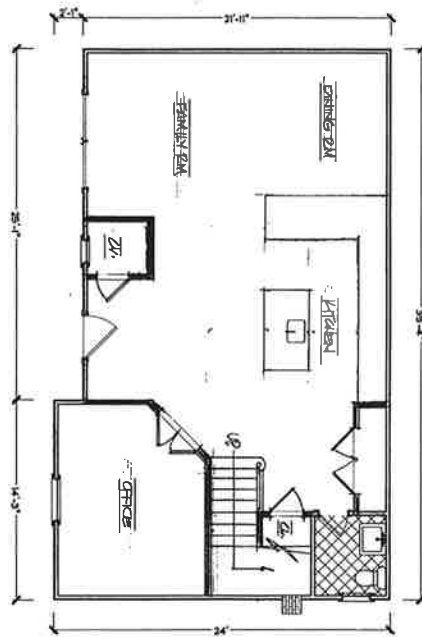


DATE: 5/15/20  
 JOB # 18201  
 SCALE: NOTED  
 SHEET #  
**9**

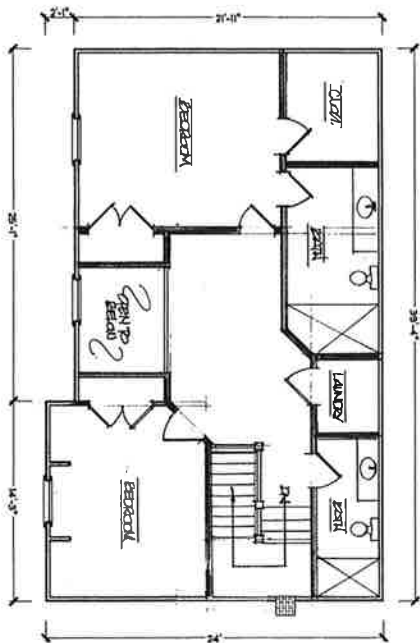
PROJECT: PROPOSED RENOVATIONS:  
 6 EAST MAIN STREET  
 BOROUGH OF MENDHAM, NJ

**Byrne Design Associates LLC.**  
 architecture / design / planning  
 10 MAIN STREET • CHESTER, NEW JERSEY 07930  
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 WILLIAMBYRNEAIA@AOL.COM

revision:



FIRST FLOOR PLAN - BARN APARTMENT  
SCALE 1/8" = 1'-0"



SECOND FLOOR PLAN - BARN APARTMENT  
SCALE 1/8" = 1'-0"

NOTE: FINAL LAYOUT MAY VARY - EXISTING AND EXTERIOR COUNTS ONLY. REMAINS NOT PROPOSED.

DATE: 11/21/15  
JOB # 15101  
SCALE: NOTED  
SHEET #  
**8**

PROJECT: PROPOSED RENOVATIONS:  
6 EAST MAIN STREET  
BOROUGH OF MENDHAM, NJ

WILLIAM P. BYRNE ARCHITECT  
NEW JERSEY | A | 1484  
VERMONT | 00705

**Byrne Design Associates Inc.**

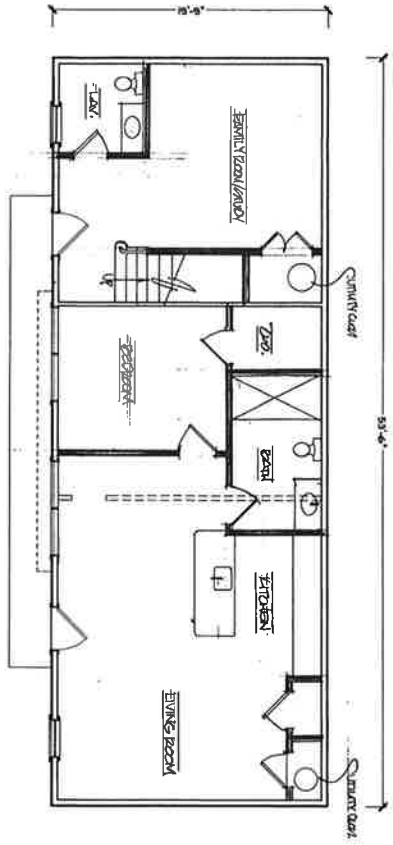
architecture / design / planning

10 MAIN STREET • CHESTER, NEW JERSEY 07830  
PHONE (908) 879-0986 • FAX (908) 879-8987  
WILLIAMBYRNEAIA@AOL.COM

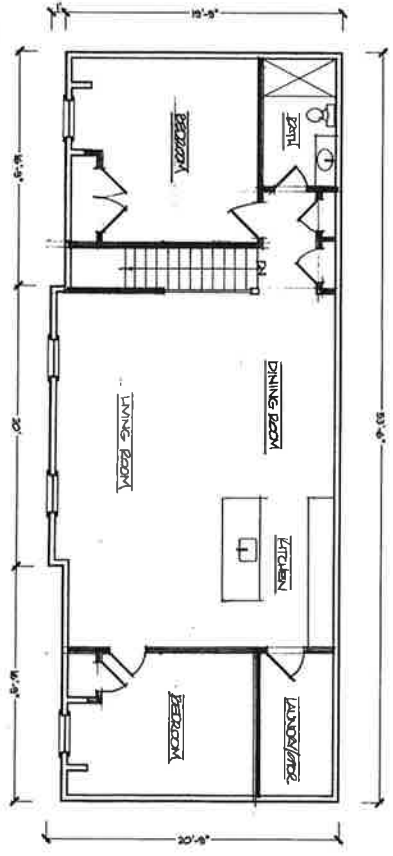
revision



A-13-  
2/15/20



FIRST FLOOR PLAN - GARAGE APARTMENT  
SCALE: 1/8" = 1'-0"



SECOND FLOOR PLAN - GARAGE APARTMENT  
SCALE: 1/8" = 1'-0"

NOTE: FINAL LAYOUTS MAY VARY  
BASED ON FIELD SURVEY  
AND CONSTRUCTION  
CONDITIONS.

DATE: 2/15/20  
JOB # 18101  
SCALE NOTED  
SHEET #  
**7**

PROJECT: PROPOSED RENOVATIONS:  
6 EAST MAIN STREET  
BOROUGH OF MENDHAM, NJ

WILLIAM P. BYRNE ARCHITECT  
100 MAIN STREET, SUITE 200  
MENDHAM, NJ 08854

**Byrne Design Associates Inc.**  
architecture / design / planning

10 MAIN STREET • CHESTER, NEW JERSEY 07830  
PHONE (908) 875-0998 • FAX (908) 875-9987  
WILLIAMBYRNE@AIAAOL.COM

REVISION:

**CERTIFICATIONS/APPROVALS**

MUNICIPALITY \_\_\_\_\_

THE PLANS HEREBY APPROVED BY THE ZONING BOARD OF ADJUSTMENT OF THE BOROUGH OF MENDHAM MORRIS COUNTY:

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

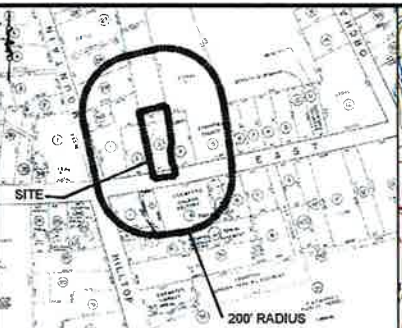
DATE: \_\_\_\_\_

HEREBY CERTIFY THAT I AM THE PRESENT OWNER OF THE REFERENCED PROPERTY AND THAT I CONSENT TO THE FRING OF THE MAJOR SITE PLAN WITH THE ZONING BOARD OF ADJUSTMENT OF THE BOROUGH OF MENDHAM.

DATE: \_\_\_\_\_ JAY GRANT

HEREBY CERTIFY THAT THE DETAILS OF THE PLAN SET ARE ACCURATE AND COMPLIANT WITH THE:

DATE: 05/19/2020 JOHN HANSEN, N.J. P.E. NO. 2462516450



**200 FT CERTIFIED OWNERS' LIST**

BLOCK	LOT	PROPERTY OWNER	ADDRESS
1501	1	ONE MAIN STREET LLC	7 BUDDY LANE MORRISTOWN, NJ 07960
1501	2	J&K MENDHAM LLC	4 HILTOP ROAD MENDHAM, NJ 07845
1501	3	FOODS AMBRO	35 COLLEGE ROAD MENDHAM, NJ 07845
1501	4	ST MARKS RECTOR WARDENS & VESTRY	7 EAST MAIN STREET MENDHAM, NJ 07845
1501	5	FISHERS, RALPH B SR TRUST / KATHY R FISHER	59 BUDDY STREET MENDHAM, NJ 07845
1501	6	MOORMAN, EDWARD	15 EAST MAIN STREET MORRISTOWN, NJ 07960
1501	7	3 MAIN STREET LLC	7 BUDDY LANE MORRISTOWN, NJ 07960
1501	8	BOROUGH OF MENDHAM	2 WEST MAIN STREET MENDHAM, NJ 07845
1501	9	A E MAIN MENDHAM LLC	P.O. BOX 110 GLACIOTON, NJ 07844
1501	10	RETT, BARBARA C	7 MOUNTAIN AVENUE MENDHAM, NJ 07845
1501	11	SHAWKEL, STEPHEN E & JUDITH B	5 MOUNTAIN AVENUE MENDHAM, NJ 07845
1501	12	300 MAIN STREET MENDHAM LLC	6 EAST MAIN STREET MENDHAM, NJ 07845
1501	13	DEBBIE RICHARDS E TRUST / CAROL W TRUST	21 E HIGHT STREET MENDHAM, NJ 07845
1501	14	TURPIN, HARVEY D TRUS	P.O. BOX 100 FARM HILLS, NJ 07821
1501	15	MENDHAM METHODIST CHURCH	10 EAST MAIN STREET MENDHAM, NJ 07845
		MORRIS COUNTY PLANNING BOARD	P.O. BOX 900 MORRISTOWN, NJ 07960

- GENERAL NOTES:**
- OWNER/APPLICANT: 6 MAIN STREET MENDHAM, LLC. C/O JAY GRANT. 7 BUDDY LANE MORRISTOWN, NJ 07960. PHONE: (973) 543-2021.
  - BOUNDARY INFORMATION SHOWN HEREON WAS TAKEN FROM A MAP ENTITLED "MAP OF SURVEY", BLOCK 601, LOT 3, BOROUGH OF MENDHAM, MORRIS COUNTY, NEW JERSEY, PREPARED BY TEMPLIN ENGINEERING ASSOCIATES, DATED NOVEMBER 09, 2018.
  - TOPOGRAPHIC INFORMATION SHOWN HEREON WAS TAKEN FROM A MAP ENTITLED "TOPOGRAPHIC SURVEY", PREPARED BY ENGINEERING & LAND PLANNING ASSOCIATES, INC., DATED 06/03/18.
  - THESE PLANS ARE NOT TO BE USED AS SURVEYS. REFER TO REFERENCE SOURCES FOR BOUNDARY AND TOPOGRAPHIC INFORMATION (NOTE #2 ABOVE).
  - VERTICAL CONTROL FOR THIS PROJECT IS BASED ON AN ASSUMED DATUM AND RELATIVE TO THIS PROJECT ONLY.

- THE SUBJECT PARCEL, BLOCK 601, LOT 3, MENDHAM BOROUGH CONSISTS OF 21,106 S.F. (0.48 ACRES).
- THIS PROJECT IS NOT A MAJOR STORMWATER DEVELOPMENT PER N.J.A.C. 7.9.
- SEE ENGINEERING DETAIL SHEETS FOR ALL SITE DETAILS AND SUPPORTING NOTES.
- THE LOCATION, TYPE, LINE, SIZE, DEPTH, ETC. OF ALL EXISTING UTILITIES ARE APPROXIMATE. LOCATION OF SERVICE LATERALS MUST BE VERIFIED IN THE FIELD BY THE CONTRACTOR AND AT HIS OWN EXPENSE PRIOR TO THE START OF CONSTRUCTION.
- NOTICE TO BE SERVED FROM CERTIFIED LIST OBTAINED FROM MENDHAM BOROUGH.

**PRELIMINARY AND FINAL MAJOR SITE PLAN**

**6 EAST MAIN STREET**

BLOCK 601, LOT 3 MENDHAM BOROUGH MORRIS COUNTY, NEW JERSEY

PREPARED BY  
**ENGINEERING & LAND PLANNING ASSOCIATES, INC.**  
140 WEST MAIN STREET, HIGH BRIDGE, NEW JERSEY 08829

**ADDITIONAL PARTIES TO BE NOTIFIED**

PROPERTY OWNER	ADDRESS
J&K, LLP	P.O. BOX 1871 MORRISTOWN, NJ 07960
MENDHAM WATER SCOURGEMAN TAX DEPT.	P.O. BOX 887 CHERRY HILL, NJ 08034
VERDON, G.D. SUFF & PHELPS	P.O. BOX 270 ADDISON, NJ 07801
MENDHAM BOROUGH	18 BLOWN ROAD MENDHAM, NJ 07845
AT&T	660 ROUTE 202/20 NORTH ECHMONT, NJ 07821
CONCAST	300 KENNETH AVENUE LINCOLN, NJ 07838
PUBLIC SERVICE ELECTRIC & GAS CO.	89 PARK PLACE HIGHBRIDGE, NJ 08035
CALENDER, ATTY: EATHY BAKER	165 ROUTE 16 MARCOLETT, NJ 07856
MORRIS COUNTY PLANNING BOARD	P.O. BOX 900 MORRISTOWN, NJ 07960

**NOTES:**

- THIS SET OF PLANS HAS BEEN PREPARED FOR THE PURPOSES OF MUNICIPAL AND AGENCY APPROVAL. THIS SET OF PLANS SHALL NOT BE USED FOR CONSTRUCTION. ALL CONDITIONS OF APPROVAL HAVE BEEN SATISFIED AND EACH DRAWING HAS BEEN NUMBERED FOR CONSTRUCTION.

CONTRACTOR: E&LP ENGINEERING & LAND PLANNING ASSOCIATES, INC. 140 WEST MAIN STREET, HIGH BRIDGE, NJ 08829. PHONE: 908-238-2525. FAX: 908-238-2525. A PROFESSIONAL ENGINEER IN THE STATE OF NEW JERSEY. LICENSE NO. 2462516450. EXPIRES 10/22/21.

**MENDHAM BOROUGH ZONING REQUIREMENTS**

ITEM	REQUIRED	EXISTING	PROPOSED	VARIANCE REQUESTED
<b>ZONING DISTRICT</b>				
HISTORIC BUSINESS ZONE*				
<b>MAX. FAMILIES PER LOT</b>				
MIN. LOT AREA (AC.)	0.50 AC.	0.48 AC.	0.42 AC. (1)	V (EN)(C)
MIN. LOT WIDTH (FT)	100 FT	75.8 FT	75.8 FT	ENG
<b>BUILDING SETBACKS FOR PRINCIPAL STRUCTURE**</b>				
FRONT YARD SETBACK (FT)	20 FT	24.04 FT (1)	24.04 FT	-
SIDE YARD SETBACK (FT)	10 FT	2.51 FT	0.77 FT	V
REAR YARD SETBACK (FT)	20 FT	81'0" FT	22.06 FT	-
<b>BUILDING SETBACKS FOR ACCESSORY STRUCTURE**</b>				
FRONT YARD SETBACK (FT)	20 FT	> 20 FT	N/A	-
SIDE YARD SETBACK (FT)	15 FT	0.77 FT	N/A	-
REAR YARD SETBACK (FT)	10 FT	22.95 FT	N/A	-
MAX. LOT COVERAGE	65 %	76.7 %	84.7 %	V
MAX. BUILDING HEIGHT (FT)	40 FT	< 40 FT	< 40 FT	-

**105 - 45A:**

**MINIMUM OFF-STREET PARKING**

STALLS REQUIRED IS OR STALLS FOR SCHEDULE A AND 39 STALLS FOR SCHEDULE B. SCHEDULE B IS AN ALTERNATIVE PARKING CALCULATION FOR A SCENARIO WHERE THE PROPOSED RESTAURANT USES INSTALLED USED AS RETAIL OR OFFICE SPACE.

**VARIANCE REQUESTED FOR PROVIDING ONLY 4 PARKING STALLS ON THE SUBJECT LOT. LOT 18 IS CURRENTLY A PUBLIC PARKING LOT CONTAINING 38 EXISTING PARKING STALLS. THE USE OF SOME OR ALL OF THE PARKING STALLS BY THE RESIDENTIAL TENANTS AND THE VISITORS OF THE RESIDENTIAL TENANTS ON LOT 3, AND THE EMPLOYEES, VISITORS, AND CUSTOMERS OF THE BUSINESS ENTITIES OF LOT 3, IS SUBJECT TO APPROVAL BY THE BOROUGH COUNCIL AND ANY CONDITIONS OF THAT APPROVAL.**

**VARIANCE REQUESTED FOR EXISTING FREESTANDING SIGN, BEING APPROXIMATELY 12 FEET ABOVE EXISTING GRADE. THERE IS AN EXISTING NON-CONFORMING SIGN TO REMAIN AND NO CHANGES TO THE SIGN HEIGHT ARE PROPOSED.**

**DESIGN WAIVER**

165 - 57.5G

LIGHTING LEVELS AT ALL PROPERTY LINES SHALL NOT EXCEED 0.1 FOOT-CANDLE EXCEPT WHERE DRIVEWAYS MEET A PUBLIC STREET.

WAIVER REQUESTED FOR LIGHTING LEVELS AT PROPERTY LINES TO EXCEED 0.1 FOOT CANDLE DUE TO THE CLOSE PROXIMITY OF THE RESIDENTIAL UNITS TO THE PROPERTY LINES.

**SIGNAGE SUMMARY TABLE**

ITEM	EXISTING SIGNS LOT 3	PROPOSED SIGNS LOT 3
TRAFFIC/PARKING SIGNS	0	7
FREESTANDING SITE ID SIGN	1	1
BUILDING MOUNTED SIGNS	0	0
TOTAL	1	8

**LOADING SCHEDULE**

LOADING REQUIRED:

PER ORDINANCE SECTION 165 - 66A, TABLE 2:

5,000 S.F. RETAIL REQUIRED (1) 12' X 30' LOADING BERTH

(1) 12' X 30' LOADING BERTH

**PARKING SCHEDULE A**

PARKING REQUIRED (BY RESTAURANT TENANT IS SECURED):

PER ORDINANCE SECTION 165 - 66A:

75 SEAT RESTAURANT WITH 4 EMPLOYEES: 32 STALLS

(1) STALL REQ. / 2 SEATS + (1) STALL REQ. / 2 EMPLOYEES

1,189 SF RETAIL (4 PARKING STALLS REQ. / 1,000 SF)

PER RES. N.J.A.C. 6:21 - 4.14:

(2) 240 APARTMENT UNITS: 10 STALLS

(2) 140 APARTMENT UNITS: 4 STALLS

TOTAL STALLS REQUIRED: 58 STALLS

**PARKING SCHEDULE B**

COMMERCIAL SPACE IN PLACE OF RESTAURANT:

PER ORDINANCE SECTION 165 - 66A:

4,326 SF RETAIL (5 PARKING STALLS REQ. / 1,000 SF)

PER RES. N.J.A.C. 6:21 - 4.14:

(5) 340 APARTMENT UNITS (2 STALLS REQ. / UNIT): 680 STALLS

(2) 140 APARTMENT UNITS (1.6 STALLS REQ. / UNIT): 224 STALLS

TOTAL STALLS REQUIRED: 904 STALLS

**ADA STALLS REQUIRED:**

PER 28 CFR PART 36 SECTION 4.1.2:

1 - 25 STALLS TOTAL (LOT 3)

PARKING PROVIDED ON-SITE:

(\*) IF X IS STALL PROVIDED:

(\*) IF X IS ADA STALL PROVIDED (W/ VAN ACCESSIBILITY):

**REVISIONS**

NO.	REVISION	BY	DATE
1	REV. PER BOROUGH COMMENTS	EM	5/19/2020
2	REV. PER ENGINEER CERTIFICATION	EM	10/22/21

DATE: 5/19/2020

JOHN HANSEN  
PROFESSIONAL ENGINEER  
N.J. P.E. NO. 2462516450

PROJECT: 6 EAST MAIN STREET PRELIMINARY AND FINAL MAJOR SITE PLAN BLOCK 601, LOT 3 MENDHAM BOROUGH MORRIS COUNTY NEW JERSEY

TITLE: COVER SHEET

**VARIANCES**

125 - ATTACHMENT 1: MAXIMUM FAMILIES PER LOT IS 2 (4)(9)

VARIANCE REQUESTED FOR 7 RESIDENTIAL UNITS ON SUBJECT LOT.

125 - ATTACHMENT 1: MINIMUM REQUIRED LOT AREA IS 0.50 ACRES.

EXISTING NON-CONFORMING CONDITION. VARIANCE REQUESTED DUE TO RIGHT OF WAY DEDICATION AND ROAD EASEMENT TO MORRIS COUNTY. EXISTING LOT AREA IS 0.48 ACRES. PROPOSED LOT AREA IS 0.42 ACRES.

125 - ATTACHMENT 1: MAXIMUM PERMITTED LOT COVERAGE IS 65%.

EXISTING LOT COVERAGE IS 76.7%. PROPOSED LOT COVERAGE IS 84.7%.

125 - ATTACHMENT 2: MINIMUM REQUIRED SIDE YARD SETBACK FOR PRINCIPAL STRUCTURE IS 20 FEET.

THE EXISTING SIDE YARD SETBACK IS 2.51 FEET. THE PROPOSED SIDE YARD SETBACK IS 0.77 FEET DUE TO ACCESSORY STRUCTURES BEING CONVERTED TO PRINCIPAL STRUCTURES.

215 - 40 - 1(C): MAXIMUM HEIGHT OF FREESTANDING SIGN SHALL NOT EXCEED 10 FEET ABOVE EXISTING GRADE.

VARIANCE REQUESTED FOR EXISTING FREESTANDING SIGN, BEING APPROXIMATELY 12 FEET ABOVE EXISTING GRADE. THERE IS AN EXISTING NON-CONFORMING SIGN TO REMAIN AND NO CHANGES TO THE SIGN HEIGHT ARE PROPOSED.

**LOADING SCHEDULE**

LOADING REQUIRED:

PER ORDINANCE SECTION 165 - 66A, TABLE 2:

5,000 S.F. RETAIL REQUIRED (1) 12' X 30' LOADING BERTH

(1) 12' X 30' LOADING BERTH

**LOADING SCHEDULE**

LOADING REQUIRED:

PER ORDINANCE SECTION 165 - 66A, TABLE 2:

5,000 S.F. RETAIL REQUIRED (1) 12' X 30' LOADING BERTH

(1) 12' X 30' LOADING BERTH

**REVISIONS**

NO.	REVISION	BY	DATE
1	REV. PER BOROUGH COMMENTS	EM	5/19/2020
2	REV. PER ENGINEER CERTIFICATION	EM	10/22/21

DATE: 5/19/2020

JOHN HANSEN  
PROFESSIONAL ENGINEER  
N.J. P.E. NO. 2462516450

PROJECT: 6 EAST MAIN STREET PRELIMINARY AND FINAL MAJOR SITE PLAN BLOCK 601, LOT 3 MENDHAM BOROUGH MORRIS COUNTY NEW JERSEY

TITLE: COVER SHEET

14

### STANDARD LEGEND

EXISTING	PROPOSED	EXISTING	PROPOSED
		MONUMENT	
		ROW MONUMENT	
		TEST PIT (NUMBER)	
		BORING (NUMBER)	
		BUILDING TO BE DEMOLISHED	
		BASELINE	
		HIGH POINT	
		LOW POINT	
		BENCH MARK	
		DECIDUOUS TREE	
		EVERGREEN TREE	
		SHRUB	
		WETLAND	
		PAVERS	
		GRAVEL DRIVE	

### STANDARD ABBREVIATIONS

AH, BK	AHEAD, BACK	J.B.	JUNCTION BOX	RCP, R.C.P.	REINFORCED CONCRETE PIPE
L.B.L.	BASELINE	L.T., RT.	LEFT, RIGHT	RMC, R.M.C.	RIGID NON-METALLIC CONDUIT
B.M.	BENCH MARK	L.O.P.	LIMIT OF PAVEMENT (PAVING)	R.N.M.C.	RIBBON DUCT
B.T., BTUM.	BELL TELEPHONE	L.O.M.	LIMIT OF MILLING	R.R.	RAILROAD
B.L.D.G.	BUILDING	M.B.	MANHOLE	RTE, RT.	ROUTE
.C.L.	CENTERLINE	MAX.	MAXIMUM	SAN.	SANITARY
C.P.P.	CAST IRON PIPE	MIN.	MINIMUM	SDWK	SIDEWALK
D.I.P.	DUCTILE IRON PIPE	NO.	NUMBER	S.H.D.	STATE HIGHWAY DEPARTMENT
CONC.	CONCRETE	N.T.S.	NOT TO SCALE	SHLD.	SHOULDER
C.U.V.	CULVERT	PAVT.	PAVEMENT	S.L.	SURVEY LINE
D.M.	DIAMETER	PERF.	PERFORATED	S.O.D.	SUBBASE OUTLET DRAIN
D.G.	DROP CURB	P.G.L.	PROFILE GRADE LINE	STY.	STORY
DE	DITCH EXCAVATION	I.P.L.	PROPERTY LINE, PROFILE LINE	T	TANGENT
DEP, DP	DEPRESSED CURB	PK	PIKER KAYLON MADONRY MAIL	T&A	TO BE ABANDONED
DH	DRILL HOLE	PC, P.O.C.	POINT ON CURVE	T&R	TO BE REMOVED
CONC.	CONCRETE	POL, P.O.L.	POINT ON LINE	TEL.	TELEPHONE
E.A. W.B.	EASTBOUND, WESTBOUND	POT, P.O.T.	POINT ON TANGENT	TEMP.	TEMPORARY
N.B., S.B.	NORTHBOUND, SOUTHBOUND	PRC, P.R.C.	POINT OF REVERSE CURVE	THK.	THICK
EL, ELEV.	ELEVATION	PROP.	PROPOSED	TYP.	TYPICAL
EXIST.	EXISTING	PT, P.T.	POINT OF TANGENCY	U.D.	UNDERDRAIN
GR	GRATE	PVC, P.V.C.	POLYVINYL CHLORIDE PIPE	U.P., U.P.	UTILITY POLE
HT.	HEIGHT	PT, P.V.T.	POINT OF VERTICAL INTERSECTION	VAR	VARIABLE VARIES
H.W.	HEADWALL	R	RADIUS	WM	WATER METER
HYD.	HYDRANT	RCP, R.C.C.P.	REINFORCED CONCRETE CULVERT PIPE		
INV.	INVERT				
IR	IRON PIPE				

### GENERAL NOTES

- APPLICANT: 8 MAIN STREET MENDHAM, LLC  
C/O JAY GRANT  
7 BLOODY LANE  
MORRISTOWN, NJ 07960  
PHONE: (973) 543-2021
- BOUNDARY INFORMATION SHOWN HEREON WAS TAKEN FROM A MAP ENTITLED "MAP OF SURVEY, BLOCK 601, LOT 3 BOROUGH OF MENDHAM, MORRIS COUNTY, NEW JERSEY, PREPARED BY TRAPLAIN ENGINEERING ASSOCIATES, DATED NOVEMBER 06, 2019.
- TOPOGRAPHIC INFORMATION SHOWN HEREON WAS TAKEN FROM A MAP ENTITLED "TOPOGRAPHIC SURVEY" PREPARED BY ENGINEERING & LAND PLANNING ASSOCIATES, INC., DATED 09/03/19.
- THESE PLANS ARE NOT TO BE USED AS SURVEYS. REFER TO REFERENCE SOURCES FOR BOUNDARY AND TOPOGRAPHIC INFORMATION (NOTES 2 & 3, ABOVE).
- THE CONTRACTOR SHALL CONFINE ALL CONSTRUCTION ACTIVITIES TO WITHIN THE LIMIT OF WORK AND/OR THE RIGHT-OF-WAY. ALL DISTURBED AREAS ARE TO BE RESTORED TO EXISTING CONDITIONS OR AS INDICATED IN THE CONTRACT DOCUMENTS.
- THE CONTRACTOR SHALL PROTECT ALL EXISTING STRUCTURES AND IMPROVEMENTS WITHIN THE PROJECT LIMITS AND RIGHT-OF-WAY. THESE FEATURES INCLUDE BUT ARE NOT LIMITED TO TREES, SHRUBS, LANDSCAPING, DRIVEWAYS, MAILBOXES, SIGNAGE, CURBS, SIDEWALKS, UTILITIES, JUNCTION BOXES, POLES, LIGHTING, HYDRANTS, VALVE BOXES, AND STRIPPING.
- THE CONTRACTOR SHALL OBTAIN ALL CONSTRUCTION PERMITS REQUIRED BY LOCAL, COUNTY AND STATE JURISDICTIONS PRIOR TO THE START OF CONSTRUCTION.
- THE CONTRACTOR SHALL NOTIFY THE BOROUGH AND MUNICIPAL ENGINEER'S OFFICE 72 HOURS PRIOR TO THE START OF WORK. THE CONTRACTOR SHALL NOTIFY ALL ADJACENT PROPERTY OWNERS PRIOR TO THE START OF CONSTRUCTION AND AS NECESSARY THROUGH PROJECT COMPLETION.
- HOURS OF WORK SHALL BE RESTRICTED TO ORDINANCE REQUIREMENTS UNLESS OTHERWISE PERMITTED BY BOROUGH.
- THE CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS BEFORE BEGINNING CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF THE PROJECT SITE, CONTRACTOR PROPERTY, EQUIPMENT, AND WORK.
- STREETS MUST BE CLEAN OF DIRT AND DEBRIS AT THE END OF EACH WORK WEEK.
- ANY DAMAGE TO THE PUBLIC ROAD DURING CONSTRUCTION SHALL BE REPLACED TO THE SATISFACTION OF THE COUNTY PRIOR TO RESUMPTION OF CERTIFICATE OF OCCUPANCY.
- TRAFFIC INGRESS AND EGRESS FOR DRIVEWAYS AND PEDESTRIAN ACCESS FACILITIES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
- PROPERTY MARKERS DISTURBED DURING CONSTRUCTION ARE TO BE REPLACED BY A REGISTERED PUBLIC LAND SURVEYOR FOR THE ORIGINAL PROPERTY OWNER AT NO COST TO OWNER.
- THE CONTRACTOR SHALL MAINTAIN UPDATED REDUCED RECORD DRAWINGS ON SITE FOR INSPECTION BY THE ENGINEER.
- MAINTENANCE AND CLEAN-UP OF THE PROJECT IS REQUIRED FOR THE PROJECT LIMITS AND DURATION, REGARDLESS OF THE CONTRACTOR'S SCOPE OF ACTIVITIES WITHIN THE PROJECT LIMITS.
- THESE DRAWINGS DO NOT INCLUDE THE NECESSARY COMPONENTS FOR CONSTRUCTION, SAFETY. THE CONTRACTOR SHALL BE RESPONSIBLE TO FIGURE OUT THE JOB SAFETY FOR HIS EMPLOYEES, EMPLOYEES OF THE OWNER AND ALL OTHER PERSONS HAVING AUTHORIZED OR UNAUTHORIZED ACCESS TO THE WORK AND THE PUBLIC. CONTRACTOR SHALL PERFORM HIS WORK IN A SAFE MANNER AND IN COMPLIANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS.
- THE LOCATION, TYPE, SIZE, DEPTH, ETC. OF ALL EXISTING UTILITIES ARE APPROXIMATE AND MUST BE VERIFIED IN THE FIELD BY THE CONTRACTOR AND AT HIS OWN EXPENSE PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES OPERATING WITHIN THE CONSTRUCTION SITE 3 DAYS PRIOR TO COMMENCEMENT OF ANY EXCAVATION FOR ACCURATE FIELD LOCATIONS. CALL 811 OR (FOR NJ, 1-800-272-1000). THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE DESIGN ENGINEER OF ALL DEVIATIONS OF SITE CONDITIONS AND IF DEVIATIONS FROM THE APPROVED DESIGN BECOME NECESSARY DUE TO SUCH DEVIATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL LINES, ELEVATIONS, AND MEASUREMENTS, EXERCISING PRECAUTION TO VERIFY ALL DIMENSIONS SHOWN ON DRAWING.
- THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE DESIGN ENGINEER SHOULD DEPARTURES FROM THE APPROVED DESIGN BECOME NECESSARY DUE TO CIRCUMSTANCES WHICH ARISE DURING CONSTRUCTION.

- THE OWNER IS RESPONSIBLE FOR MAINTAINING BEST MANAGEMENT PRACTICES FOR STORAGE OF DEBRING MATERIALS. DEBRING MATERIALS SHALL BE STORED IN ACCORDANCE WITH ALL LOCAL, STATE, & FEDERAL REGULATIONS.

### STRETOVIL NOTE

- THE CONTRACTOR IS RESPONSIBLE FOR ENSURING PROPER DRAINAGE OF THE PROJECT SITE AND ALL UPGRADENT AREAS TO THE SITE.
- CATCHBASIN, GATE AND HEADERS SHALL BE RESET AS REQUIRED TO MATCH FRESH GRADE ELEVATIONS. UNLESS OTHERWISE NOTED OR DIRECTED BY THE ENGINEER, PLACEMENT GRATES AND HEADERS SHALL BE ALIGNED WITH ADJACENT CURBS AND PAVEMENT.
- MILLINGS, STONE, SOIL, CONSTRUCTION DEBRIS, AND ALL OTHER RELATED MATERIALS SHALL BECOME THE PROPERTY OF THE CONTRACTOR FOR OFF-SITE DISPOSAL.
- INADEQUATE INSPECTION OF WORKMANSHIP SHALL NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITY TO PERFORM THE WORK IN ACCORDANCE WITH APPLICABLE PLANS, SPECIFICATIONS AND REGULATIONS AND TO OBTAIN WRITTEN APPROVAL OF MUNICIPAL OFFICIALS, AND ACCEPTANCE OF THE CONSTRUCTION BY THE OWNER.
- ALL CONCRETE USED FOR SITE WORK SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3500 PSI OR AS NOTED ELSEWHERE IN DRAWINGS.
- THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES INDIVIDUALLY AND SHALL NOTIFY THE UNDERGROUND UTILITIES NOTIFICATION SERVICE AT LEAST 72 HOURS PRIOR TO COMMENCEMENT OF ANY EXCAVATION BY CALLING (1-800-272-1000 IN NJ).
- SUBBASE MATERIAL FOR SIDEWALKS, CURB OR ASPHALT SHALL BE FREE OF ORGANIC AND OTHER UNSUITABLE MATERIALS. SHOULD SUBBASE BE DEEMED UNSUITABLE, SUBBASE IS TO BE REMOVED AND FILLED WITH APPROVED FILL MATERIAL COMPACTED TO 96% OPTIMUM DENSITY (AS DETERMINED BY MODIFIED PROCTOR METHOD).
- ALL CONTRACTORS WORKING ON THIS PROJECT SHALL COMPLY WITH THE REQUIREMENTS OF 28 CFR 1926 OSHA CONSTRUCTION INDUSTRY REGULATIONS & STANDARDS.
- ALL CONTRACTORS WORKING ON THIS PROJECT SHALL BE RESPONSIBLE FOR ENSURING THAT ALL CONSTRUCTION ACTIVITIES RELATED TO THIS PROJECT ARE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE OSHA (OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION) STANDARDS.
- NO EXCAVATION OR FILL SHALL BE MADE WITH A FACE STEEPER THAN THREE (3) HORIZONTAL TO ONE (1) VERTICAL (3:1) UNLESS A RETAINING WALL, CONSTRUCTED IN ACCORDANCE WITH APPROVED STANDARDS IS PROVIDED TO SUPPORT THE FACE OF SLOPE OF SAND EXCAVATION OR FILL.
- BURNING OF TREES, STUMPS, OR CONSTRUCTION MATERIAL IS PROHIBITED. TREES AND STUMPS MAY BE CHIPPED OR GROUND AND SPREAD ON THE SITE.
- SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE IN PLACE AND FUNCTIONING PRIOR TO ANY OTHER DISTURBANCE ON THE SITE.
- EXISTING UTILITIES SHOWN ON THESE PLANS HAVE BEEN DEVELOPED FROM UTILITY COMPANY AS-BUILTS AND/OR FIELD SURVEY AT THE SITE. COMPLETENESS AND/OR ACCURACY CANNOT BE GUARANTEED. ALL CONTRACTORS WORKING ON THIS PROJECT SHALL COMPLY WITH THE REQUIREMENTS OF (NEW JERSEY ONE CALL) REGARDING NOTIFICATION OF UNDERGROUND UTILITY USERS PRIOR TO EXCAVATION.

### NOTES

- THIS SET OF PLANS HAS BEEN PREPARED FOR THE PURPOSES OF REVIEW AND AGENCY APPROVAL. THIS SET OF PLANS SHALL NOT BE UTILIZED FOR CONSTRUCTION DOCUMENTS UNTIL ALL CONDITIONS OF APPROVAL HAVE BEEN SATISFIED AND A DRAFT DRAWING HAS BEEN MARKED "ISSUED FOR CONSTRUCTION".

**ENGINEERING & LAND PLANNING ASSOCIATES, INC.**  
A PROFESSIONAL ASSOCIATION  
CERTIFICATE OF AUTHORIZATION NO. 24G2821506 EXP. 07/31/2020

NO.	REVISION	BY	DATE
1	REV. PER BOROUGH COMMENTS	EM	07/30/2020
2	REV. PER ENGINEER CERTIFICATION	EM	12/22/19

DATE: 5/19/2020  
DATE: \_\_\_\_\_  
PROJECT: 8 EAST MAIN STREET PRELIMINARY AND FINAL MAJOR SITE PLAN BLOCK 601, LOT 3 MENDHAM BOROUGH MORRIS COUNTY NEW JERSEY

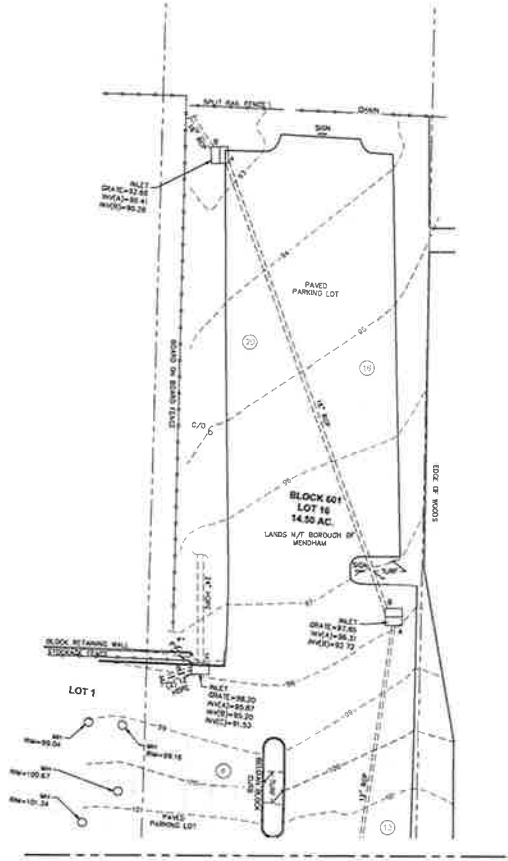
PROJECT: 8 EAST MAIN STREET PRELIMINARY AND FINAL MAJOR SITE PLAN BLOCK 601, LOT 3 MENDHAM BOROUGH MORRIS COUNTY NEW JERSEY

### LEGEND AND NOTES

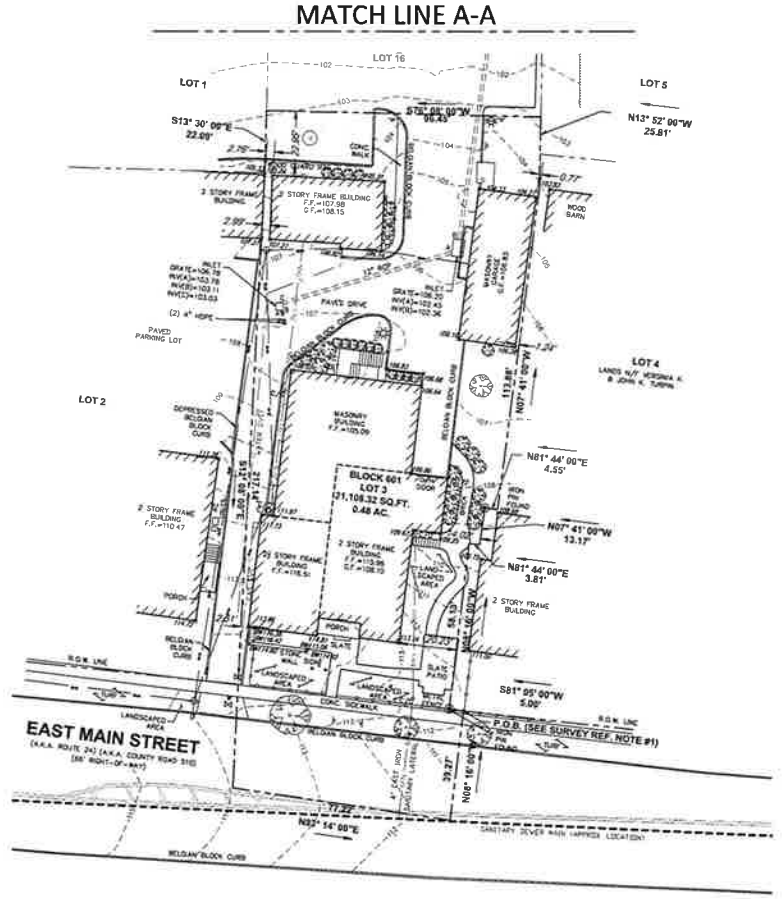
DATE: 05/19/2020	DATE: 05/19/2019	2	14
SCALE: AS SHOWN	SCALE: EM		
CHECKED: JH	CHECKED: JH		
FILE NAME: 10_LEGEND & NOTES.DWG	FILE NAME: 10_LEGEND & NOTES.DWG		



- GENERAL NOTES:**
1. THIS PLAN REPRESENTS A SURVEY MADE ON THE GROUND.
  2. A TITLE REPORT OR COMMITMENT WAS NOT PROVIDED OR USED IN THE PREPARATION OF THIS PLAN.
  3. IF THE PLAN DOES NOT CONTAIN AN ORIGINAL SIGNATURE AND IMPRESSION SEAL OF THE LICENSED LEASING SURVEYOR IT IS NOT AN AUTHENTIC COPY AND MAY HAVE BEEN ALTERED.
  4. THIS PROPERTY IS SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD, WRITTEN AND UNWRITTEN.
  5. THIS PLAN MAKES NO REPRESENTATION TO THE LOCATION OF ANY SUB-SURFACE UTILITIES OR STRUCTURES THAT WERE NOT VISIBLE AT THE TIME OF THE SURVEY.
  6. VERTICAL CONTROL FOR THIS PROJECT IS BASED ON AN ASSUMED DATUM AND RELATIVE TO THIS PROJECT ONLY.
  7. SUBJECT TO THE RIGHTS OF A RECORD ACCESS EASEMENT AGREEMENT AS DESCRIBED IN DEED BK. 6846 PG. 471.



MATCH LINE A-A



MATCH LINE A-A

- SURVEY REFERENCE:**
1. A MAP ENTITLED "MAP OF SURVEY, BLOCK 601, LOT 2, BOROUGH OF MENDHAM, MORRIS COUNTY, NEW JERSEY," PREPARED BY TEMPLE ENGINEERING ASSOCIATES DATED NOVEMBER 06, 2018.
  2. A MAP ENTITLED "TOPOGRAPHIC SURVEY," PREPARED BY ENGINEERING & LAND PLANNING ASSOCIATES, INC., DATED 09/20/19.

**NOTES:**

1. THIS SET OF PLANS HAS BEEN PREPARED FOR THE PURPOSES OF REVIEW AND RECORD APPROVAL. THIS SET OF PLANS SHALL NOT BE UTILIZED FOR CONSTRUCTION DOCUMENTS UNTIL ALL CONDITIONS OF APPROVAL HAVE BEEN SATISFIED AND SUCH DRAWINGS HAVE BEEN WAIVED "ISSUED FOR CONSTRUCTION."

**COMPONENT 2025 ENGINEERING & LAND PLANNING ASSOCIATES, INC.**  
 140 WEST MAIN STREET HIGH BRIDGE, NJ 08028  
 PH. 908-228-0566 FAX. 908-228-0577  
 A PROFESSIONAL ASSOCIATION  
 CERTIFICATE OF AUTHORIZATION NO. 2426200-200-ENV. 92/0000



140 WEST MAIN STREET HIGH BRIDGE, NJ 08028  
 PH. 908-228-0566 FAX. 908-228-0577  
 A PROFESSIONAL ASSOCIATION  
 CERTIFICATE OF AUTHORIZATION NO. 2426200-200-ENV. 92/0000

NO.	REVISION	BY	DATE
2	REV. PER BOROUGH COMMENTS	EM	5/19/2020
1	REV. PER ENGINEER CERTIFICATION	EM	10/20/19

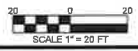
DATE: 5/19/2020  
 PROFESSIONAL SURVEYOR  
 N.J. P.L.S. NO. 2426200-200-0000  
 WAYNE J. INGRAM

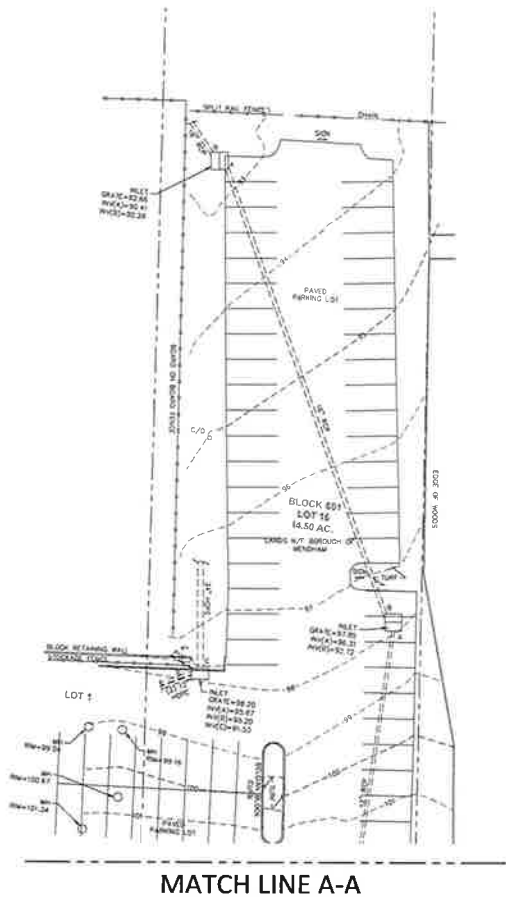
PROJECT:  
 6 EAST MAIN STREET  
 PRELIMINARY AND FINAL  
 MAJOR SITE PLAN  
 BLOCK 601, LOT 3  
 MENDHAM BOROUGH  
 MORRIS COUNTY NEW JERSEY

**EXISTING CONDITIONS PLAN**

JOB NO.	18135	DRAWING NO.	3 14
SCALE	1"=20'		
DESIGNED BY	EM		
CHECKED BY	JH		
FILE NAME	SURVEY.DWG		
DATE	08/06/2019		

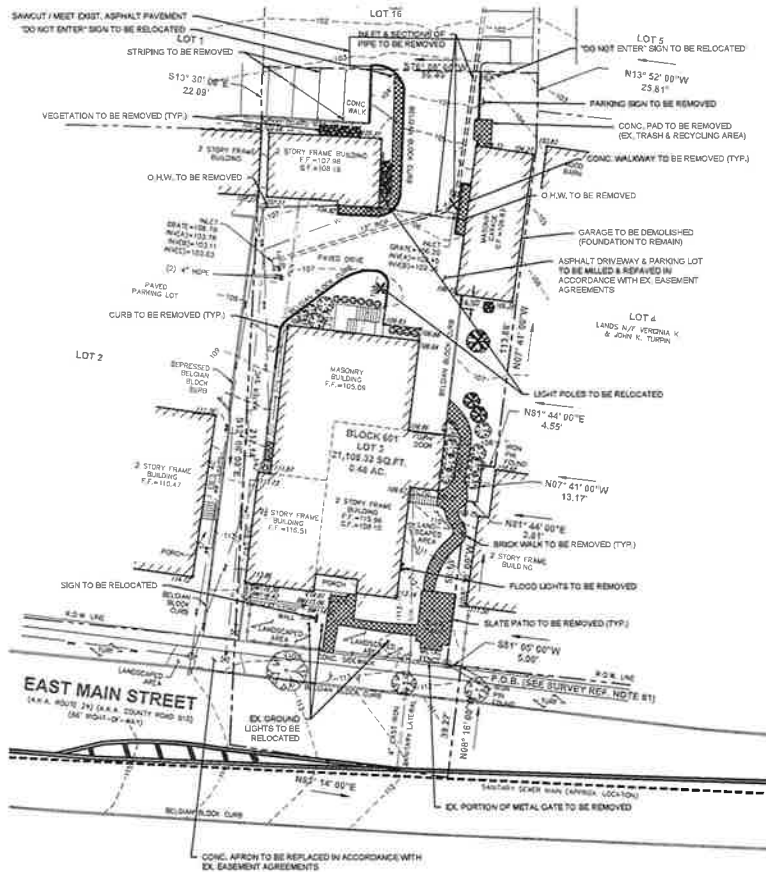
- NOTES:**
1. ALL EXISTING ROOF DRAINAGE ON SUBJECT LOT DRAINAGES TO GRADE.
  2. LOCATIONS OF EXISTING UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE AND SHALL BE VERIFIED IN FIELD BY CONTRACTOR PRIOR TO CONSTRUCTION.





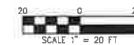
MATCH LINE A-A

MATCH LINE A-A



NOTES

- LOCATIONS OF EXISTING UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE AND SHALL BE VERIFIED IN FIELD BY CONTRACTOR PRIOR TO CONSTRUCTION.



NOTES

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140 WEST MAIN STREET HIGH BRIDGE, NJ 08003  
 PH. 908-228-0544 FAX. 908-228-8072  
 A PROFESSIONAL ASSOCIATION  
 CERTIFICATE OF AUTHORIZATION NO. INDEPENDENT EXP. 0713025

NO.	REV. NO.	BY	DATE
2	REV. PER BOROUGH COMMENTS	EM	11/18/2020
1	REV. PER ENGINEER CERTIFICATION	EM	10/22/16

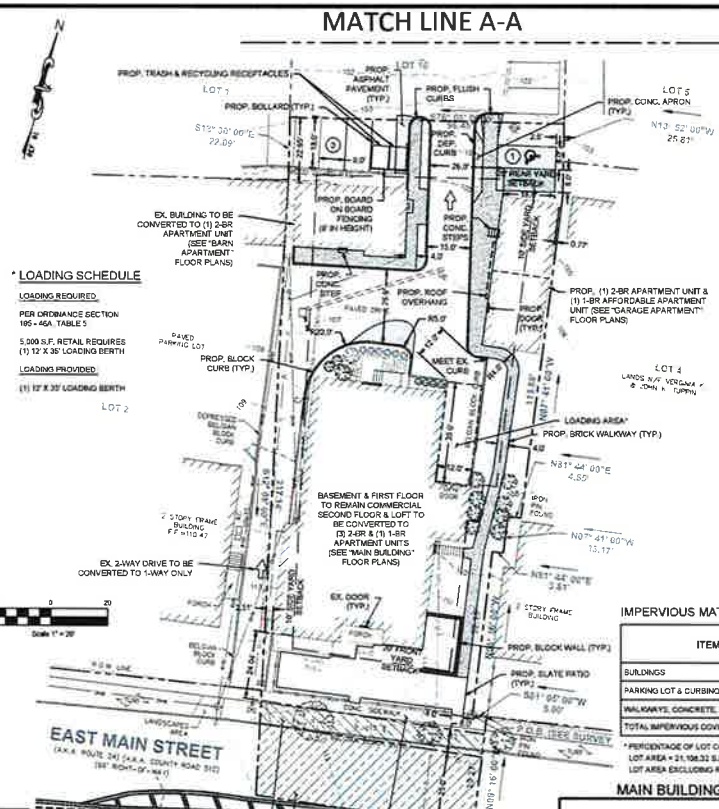
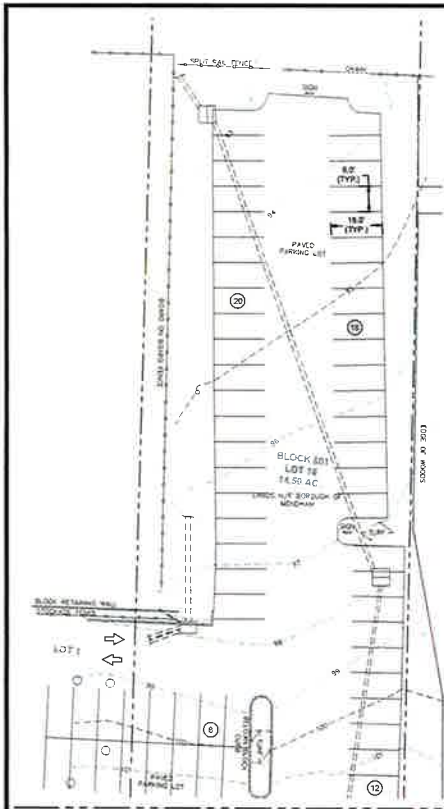
DATE: 5/19/2020  
 PROJECT: 6 EAST MAIN STREET PRELIMINARY AND FINAL MAJOR SITE PLAN BLOCK 601, LOT 3 MENDHAM BOROUGH MORRIS COUNTY NEW JERSEY  
 TITLE: DEMOLITION PLAN  
 JOB NO.: 19136  
 SCALE: 1"=20'  
 DESIGNED: EM  
 CHECKED: JH  
 PLTNAME: DEMO.DWG  
 DATE: 09/09/2019

DATE: 5/19/2020  
 PROJECT: 6 EAST MAIN STREET PRELIMINARY AND FINAL MAJOR SITE PLAN BLOCK 601, LOT 3 MENDHAM BOROUGH MORRIS COUNTY NEW JERSEY

TITLE: DEMOLITION PLAN

JOB NO.: 19136  
 SCALE: 1"=20'  
 DESIGNED: EM  
 CHECKED: JH  
 PLTNAME: DEMO.DWG  
 DATE: 09/09/2019

4  
 14



**\* LOADING SCHEDULE**

**LOADING REQUIRED:**  
 PER ORDINANCE SECTION 195-45A, TABLE 3  
 5,200 S.F. RETAIL REQUIRES  
 (1) 12' X 30' LOADING BERTH

**LOADING PROVIDED:**  
 (1) 12' X 30' LOADING BERTH

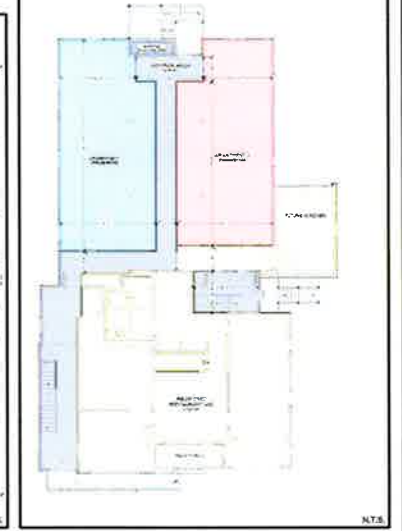


**PROPOSED FLOOR PLANS**

**MAIN BUILDING - BASEMENT PLAN**



**MAIN BUILDING - FIRST FLOOR PLAN**



**IMPERVIOUS MATERIALS**

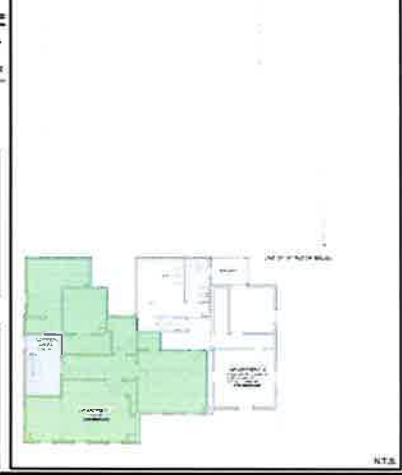
ITEM	EXISTING	PERCENTAGE	PROPOSED	PERCENTAGE
BUILDINGS	6,694.3 S.F.	36.1%	6,734.3 S.F.	36.2%
PARKING LOTS & CURBSIDE	5,657.1 S.F.		5,167.8 S.F.	
PARKWAYS, CONCRETE & STAIRS	1,855.3 S.F.	40.5%	3,840.0 S.F.	49.4%
TOTAL IMPERVIOUS COVERAGE	14,206.7 S.F.	76.7%	15,842.1 S.F.	84.7%

\* PERCENTAGE OF LOT COVERAGE BASED ON LOT AREA EXCLUDING R.O.W. DEDICATION AND ROAD EASEMENT  
 LOT AREA = 21,146.32 S.F. (0.48 AC.)  
 LOT AREA EXCLUDING R.O.W. DEDICATION AND ROAD EASEMENT = 18,522.09 S.F. (0.42 AC.)

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**NOTE:**  
 1. THIS SET OF PLANS HAS BEEN PREPARED FOR THE PURPOSES OF MUNICIPAL AND AGENCY APPROVAL. THIS SET OF PLANS SHALL NOT BE UTILIZED FOR CONSTRUCTION DOCUMENTS UNTIL ALL CONDITIONS OF APPROVAL HAVE BEEN SATISFIED AND EACH DRAWING HAS BEEN MARKED "ISSUED FOR CONSTRUCTION."

**MAIN BUILDING - SECOND FLOOR PLAN**



**MAIN BUILDING - LOFT PLAN**



**MATCH LINE A-A**

**PARKING SCHEDULE A**  
 (OF RESTAURANT TENANT IS SECURED)

**FOR ORDINANCE SECTION 195 - 45A**

75 SEAT RESTAURANT/4 EMPLOYEES  
 (1 STALL REQ. / 2.4 SEAT/1.8 EMP.)  
 1 STALL REQ. / 2 EMP. (CYLES)

1,800 SF RETAIL  
 (8 PARKING STALLS REQ. / 1,800 SF)  
 PER RISE N.J.A.C. 5:21 - 4.14

(2) 2-BR APARTMENT UNITS  
 (2 STALLS REQ. / UNIT)

(3) 1-BR APARTMENT UNITS  
 (1.8 STALLS REQ. / UNIT)

**TOTAL STALLS REQUIRED**  
 59 STALLS

**PARKING SCHEDULE B**  
 (COMMERCIAL SPACE BY PLACE OF RESTAURANT)

**FOR ORDINANCE SECTION 195 - 45A**

4,800 SF RETAIL  
 (8 PARKING STALLS REQ. / 1,000 SF)  
 PER RISE N.J.A.C. 5:21 - 4.14

(5) 2-BR APARTMENT UNITS  
 (2 STALLS REQ. / UNIT)

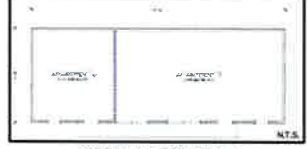
(7) 1-BR APARTMENT UNITS  
 (1.8 STALLS REQ. / UNIT)

**TOTAL STALLS REQUIRED**  
 39 STALLS

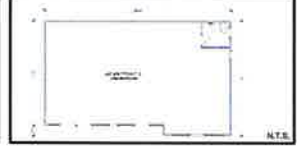
**ADA STALLS REQUIRED:**  
 PER 28 CFR PART 36 SECTION 4.1.2  
 1-25 STALLS TOTAL (LOT 2)

**1 ADA STALL**

**GARAGE APARTMENT BUILDING FIRST FLOOR PLAN**



**BARN APARTMENT BUILDING FIRST FLOOR PLAN**



**E&LP**

**ENGINEERING & LAND PLANNING ASSOCIATION**

100 WEST MAIN STREET  
 PH: 908-226-2544  
 A PROFESSIONAL ASSOCIATION  
 CERTIFICATE OF REGISTRATION NO. JG4-026199 EXP. 8/31/2025

NO.	REVISION	BY	DATE
1	REV. PER ENGINEER CERTIFICATION	EM	11/22/18
2	REV. PER BOROUGH COMMENTS	EM	5/15/2020

5/18/2020  
 DATE

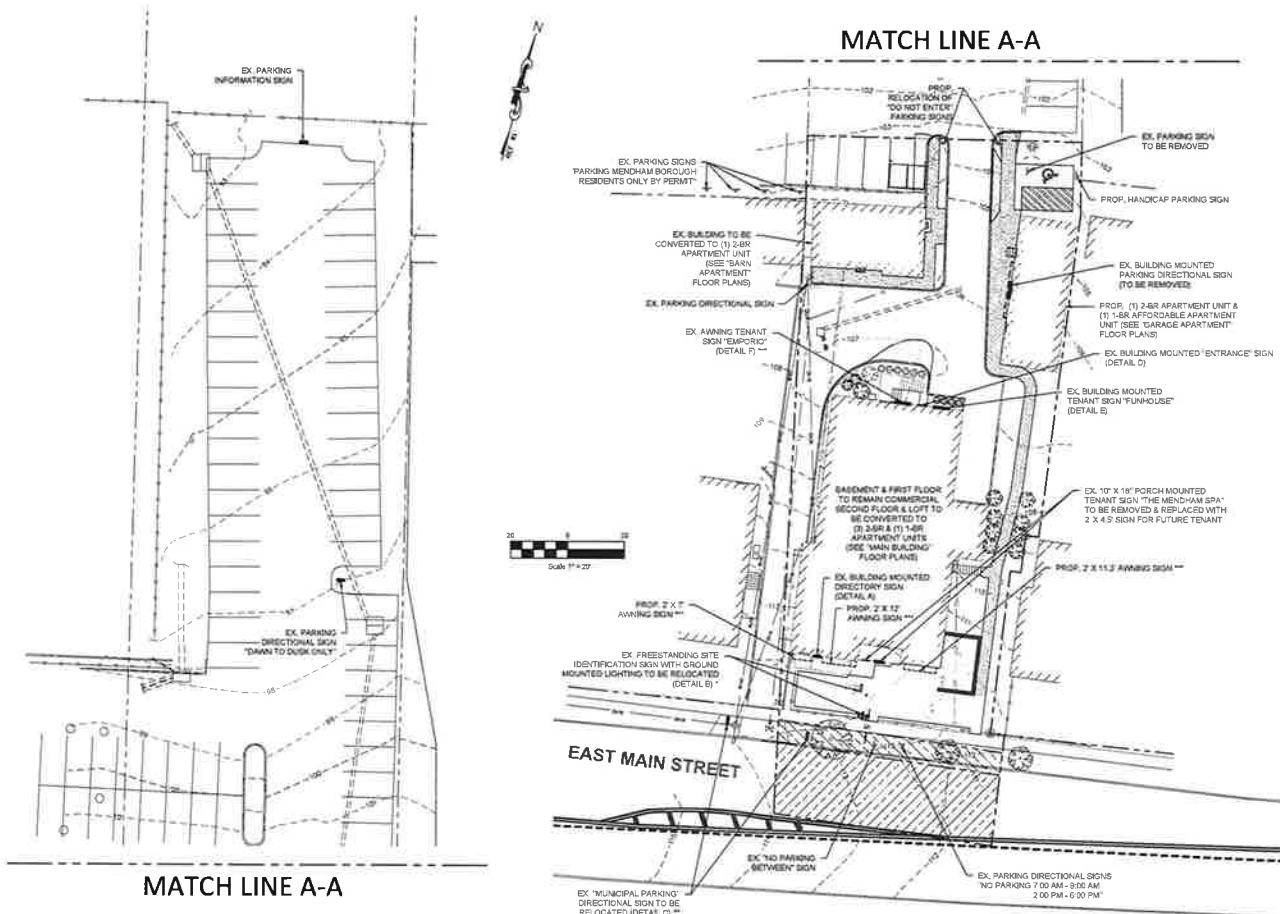
*[Signature]*  
 JOHN HANSEN  
 PROFESSIONAL ENGINEER  
 N.J. P.E. NO. 24624164500

**PROJECT:**  
 6 EAST MAIN STREET  
 PRELIMINARY AND FINAL  
 MAJOR SITE PLAN  
 BLOCK 601, LOT 3  
 MENDHAM BOROUGH  
 MORRIS COUNTY NEW JERSEY

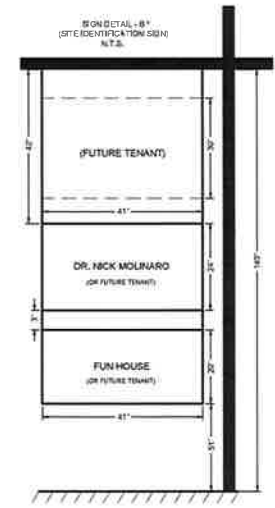
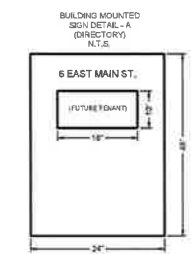
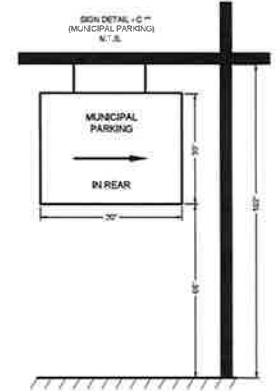
**SITE PLAN**

DWG NO.	19135	PROJ NO.	19135
SCALE	AS SHOWN	5	14
DESIGNED BY	EM		
CHECKED BY	JH		
DATE	09/09/2019		

MATCH LINE A-A



MATCH LINE A-A



**NOTES:**  
 1. THIS SET OF PLANS HAS BEEN PREPARED FOR THE PURPOSES OF MUNICIPAL AND AGENCY APPROVAL. THIS SET OF PLANS SHALL NOT BE USED FOR CONSTRUCTION DOCUMENTS UNTIL ALL CONDITIONS OF APPROVAL HAVE BEEN ENTERED AND EACH DRAWING HAS BEEN MARKED 'ISSUED FOR CONSTRUCTION'.  
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**E&LP**  
 110 WEST MAIN STREET HIGH BRIDGE, NJ 08020  
 PH: 908-238-0544 FAX: 908-238-9572  
 A PROFESSIONAL ASSOCIATION  
 CERTIFICATE OF AUTHORIZATION NO. 2462801000 EXP. 9/30/2025

NO.	REVISION	BY	DATE
1	REV. PER BOROUGH COMMENTS	EM	07/18/2020
2	REV. PER ENGINEER CERTIFICATION	EM	10/22/2019

DATE: 5/18/2020  
 PROFESSIONAL ENGINEER: JAMES HANSEN  
 N.J. P.E. NO. 246281154000

PROJECT: 6 EAST MAIN STREET PRELIMINARY AND FINAL MAJOR SITE PLAN BLOCK 601, LOT 3 MENDHAM BOROUGH MORRIS COUNTY NEW JERSEY

TITLE: SIGNAGE PLAN

DWG NO: 19135 DRAWING NO: 6  
 SCALE: 1" = 30'  
 DESIGNED: EM  
 CHECKED: JH  
 FILENAME: SIGNAGE.DWG  
 DATE: 05/09/2019

**SIGN VARIANCE**

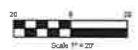
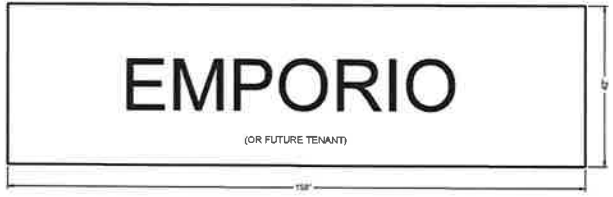
215-80-1(e) MAXIMUM HEIGHT OF FREESTANDING SIGN SHALL NOT EXCEED 10 FEET ABOVE EXISTING GRADE.

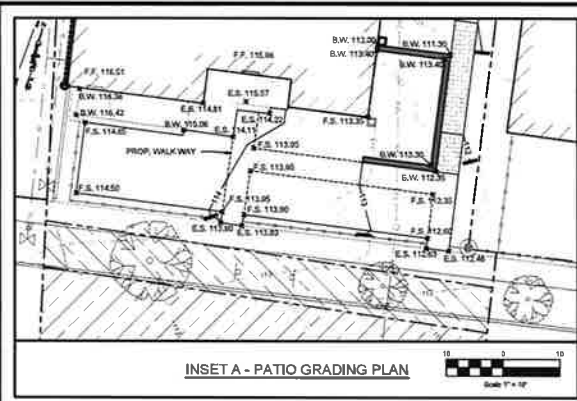
VARIANCE REQUESTED FOR EXISTING FREESTANDING SIGN BEING APPROXIMATELY 12 FEET ABOVE EXISTING GRADE. THIS IS AN EXISTING NON-CONFORMING CONDITION. EXISTING SIGN TO REMAIN AND NO CHANGES TO THE SIGN HEIGHT ARE PROPOSED.

SIGNAGE SUMMARY TABLE		
ITEM	EXISTING SIGNS (LOT 2)	PROPOSED SIGNS (LOT 3)
TRAFFIC PARKING SIGNS	6	7
FREESTANDING SIGN	1	1
BUILDING MOUNTED SIGNS	5	8
TOTAL	12	16

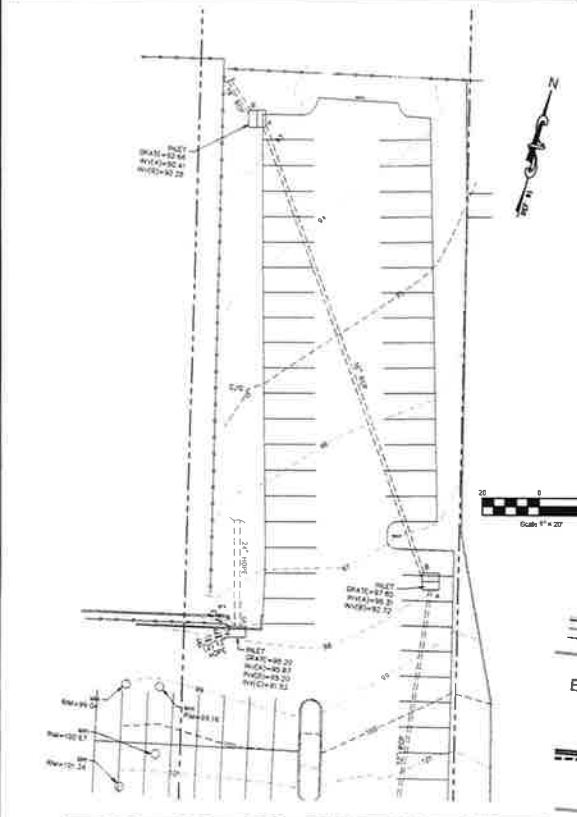
**SIGN NOTES**

- INDIVIDUAL SIGN PANELS ON SITE ID SIGN (DETAIL B) COLLECTIVELY CONSIDERED ONE (1) FREESTANDING SIGN.
- MUNICIPAL PARKING DIRECTIONAL SIGN (DETAIL C) SUBJECT TO COUNTY APPROVAL, IF REQUIRED.
- AWNING SIGNS INCLUDED AS BUILDING MOUNTED SIGNS.





INSET A - PATIO GRADING PLAN



MATCH LINE A-A

**NOTES**

- FRONT PATIO AND WALKWAY GRADING SHOWN FOR DEMONSTRATION OF ADA ACCESS. FINAL PATIO DESIGN SUBJECT TO CHANGES IN SEATING CONFIGURATION.
- LOCATIONS OF EXISTING UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE AND SHALL BE VERIFIED IN FIELD (V.I.F.) BY CONTRACTOR PRIOR TO CONSTRUCTION.

**BUILDING HEIGHT CALCULATIONS:**

MAX. BUILDING HEIGHT PERMITTED: 40.00 FT.

AVG. PROP. GROUND ELEV. OF BUILDING CORNERS (MAIN BUILDING)  
 (113.86 + 115.35 + 111.87 + 111.73 + 110.10 + 110.00 + 109.02 + 107.72 + 106.86 + 106.64) / 10 = 110.03

PROP. MAX. BUILDING ELEVATION: 145.84

PROP. BUILDING HEIGHT = 145.84 - 110.03 = 35.81 FT.

**DRYWELL CALCULATIONS:**

TOTAL PROPOSED INCREASE IN IMPERVIOUS COVERAGE: 1,481.64 SF

TOTAL REQUIRED STORAGE VOLUME PER ORDINANCE SECTION 216-12.5B(2): 1,481.64 SF X 2" RAIN = 271 CF

TOTAL PROPOSED IMPERVIOUS TO DRYWELL SYSTEM: 1,481.64 SF

**PROPOSED DRYWELL DETENTION VOLUME:**

COVERAGE TO DRYWELL: 1371 CF

PROPOSED DRYWELL STORAGE CAPACITY CALCULATIONS:

DIAMETER: 8 FT (21.33 IN) DEPTH: 5.883 FT  
 (3.1416) \* 7.33 \* 7.33 \* 5.883 = 236 CF  
 VOLUME OF PRECAST STRUCTURE: 236 CF

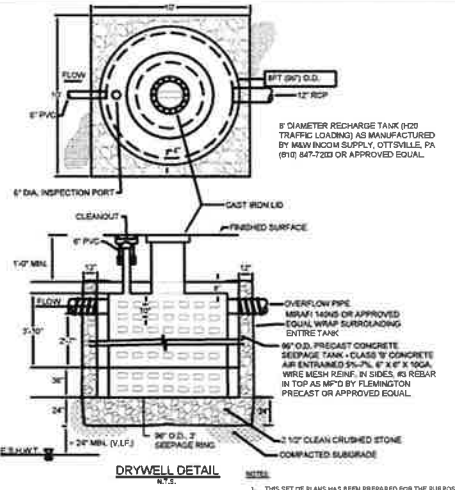
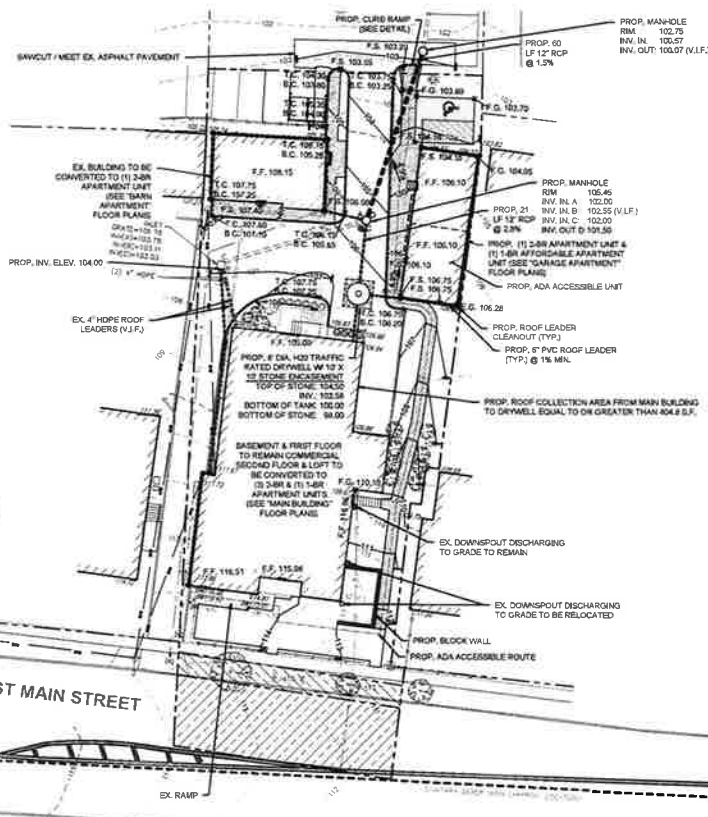
STONE VOID VOLUME (10 FT X 10 FT X 7.583 FT DEEP)  
 10' \* 10' \* 7.583 = 758 CF  
 LESS 00 CF OF DRY WELL (8 FT O.D.)  
 (3.1416) \* 8' \* 8' \* 5.583 = 281 CF

VOL. Voids: 0.33 \* (758 - 281) = 157 CF

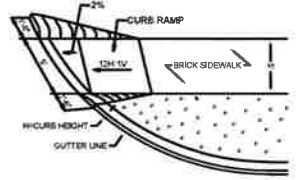
TOTAL STORAGE VOLUME: 236 + 157 CF = 393 CF

393 CF PROP. = 371 CF REQUIRED.

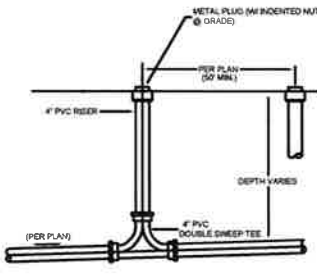
MATCH LINE A-A



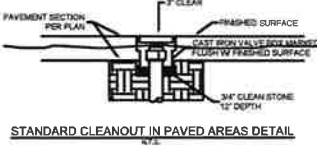
DRYWELL DETAIL



CURB RAMP DETAIL



STANDARD CLEANOUT DETAIL



STANDARD CLEANOUT IN PAVED AREAS DETAIL

**NOTES:**

- THIS SET OF PLANS HAS BEEN PREPARED FOR THE PURPOSES OF GENERAL AND ADVISORY APPROVAL. THIS SET OF PLANS SHALL NOT BE UTILIZED FOR CONSTRUCTION DOCUMENTS UNTIL ALL CONDITIONS OF APPROVAL HAVE BEEN LISTED AND EACH DRAWING HAS BEEN MARKED 'TRUSTED FOR CONSTRUCTION'.

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140 WEST MAIN STREET HIGH BRIDGE, NJ 08028  
 PH: 908-282-5654 FAX: 908-282-9572  
 A PROFESSIONAL ASSOCIATION  
 CERTIFICATE OF AUTHORIZATION NO. 246282300 EXP. 01/31/2025

NO.	REVISION	BY	DATE
2	REV. PER BOROUGH COMMENTS	EM	10/16/2020
1	REV. PER ENGINEER CERTIFICATION	EM	10/22/21

DATE: 5/18/2020  
 DATE: 5/18/2020  
 JON HANSEN  
 PROFESSIONAL ENGINEER  
 N.J. P.E. NO. 246282300

PROJECT: 6 EAST MAIN STREET  
 PRELIMINARY AND FINAL  
 MAJOR SITE PLAN  
 BLOCK 601, LOT 3  
 MENDHAM BOROUGH  
 MORRIS COUNTY NEW JERSEY

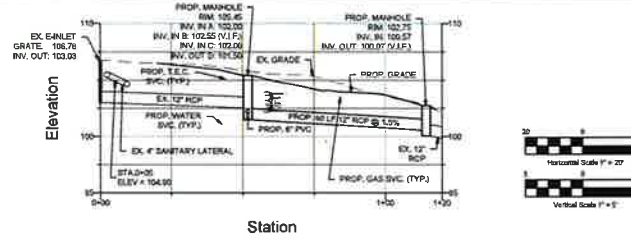
TITLE: GRADING & DRAINAGE PLAN

NO.:	19135	DRAWING NO.:	7
SCALE:	1"=20'		
DESIGNED:	EM		
CHECKED:	JH		
PROJECT:	GRADING, DRAINAGE, DWG		
DATE:	09/09/2018		14



NOTES

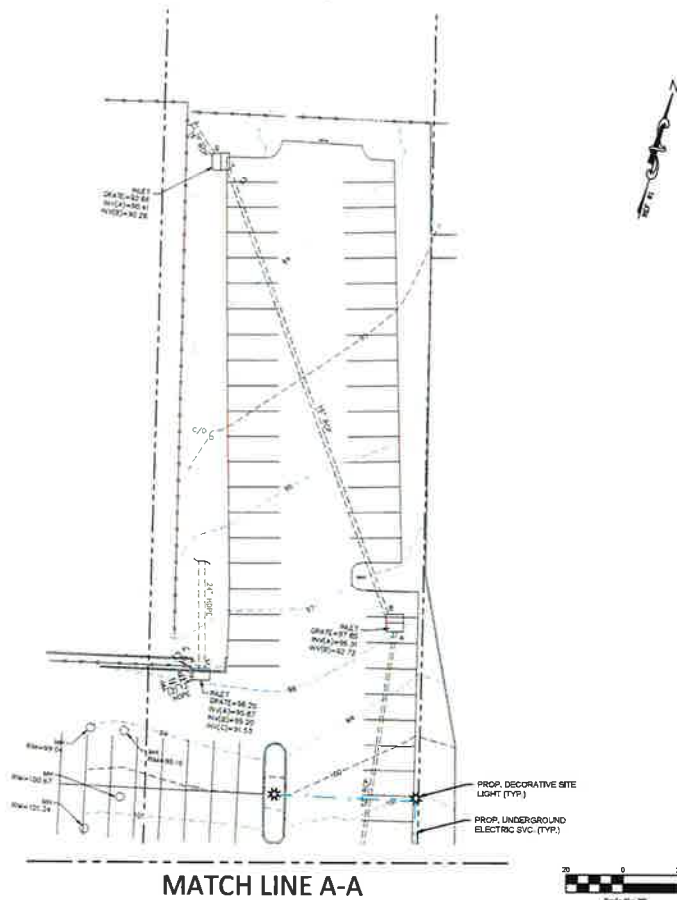
- CONTRACTOR TO VERIFY ALL EXISTING UNDERGROUND UTILITY LOCATIONS, ELEVATIONS, AND SIZES IN FIELD AND COORDINATE WITH ENGINEER PRIOR TO CONSTRUCTION.
- ALL PIPE CROSSINGS TO MAINTAIN 18" MINIMUM SEPARATION. PIPES SHALL HAVE PROPER ENCASUREMENT IF 18" SEPARATION IS NOT POSSIBLE. COORDINATE WITH ENGINEER.



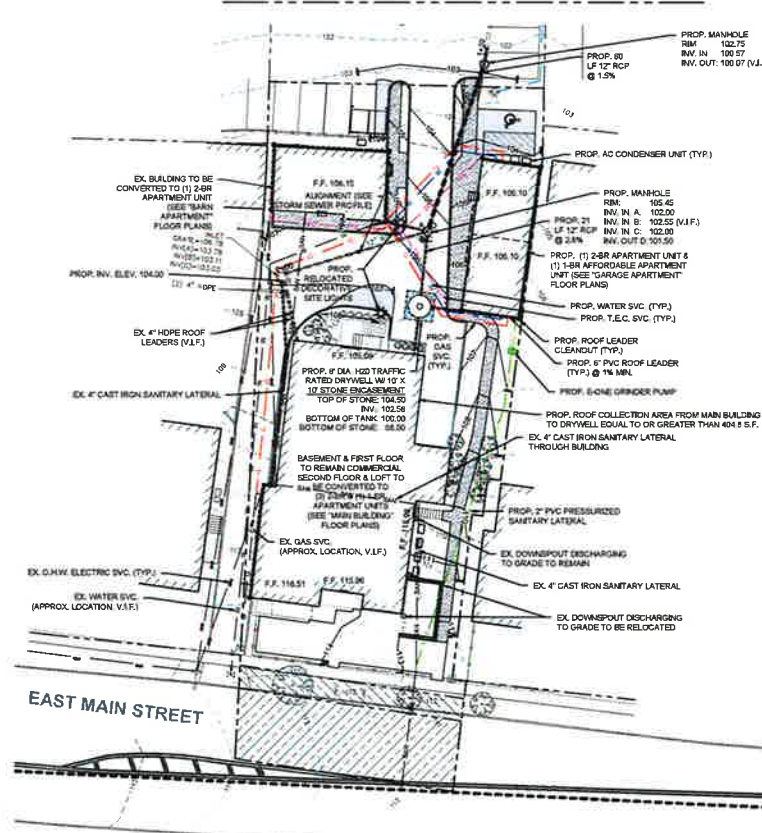
**STORM SEWER PROFILE**

HORIZONTAL SCALE: 1" = 20'  
VERTICAL SCALE: 1" = 5'

**MATCH LINE A-A**



**MATCH LINE A-A**



NOTES

THIS SET OF PLANS HAS BEEN PREPARED FOR THE PURPOSES OF MUNICIPAL AND AGENCY APPROVAL. THIS SET OF PLANS SHALL NOT BE UTILIZED FOR CONSTRUCTION DOCUMENTS UNTIL ALL CONDITIONS OF APPROVAL HAVE BEEN ENTERED AND EACH DRAWING HAS BEEN MARKED 'ISSUED FOR CONSTRUCTION'.

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PH: 908-238-5644 FAX: 908-238-4672  
A PROFESSIONAL CORPORATION  
CERTIFICATE OF AUTHORIZATION NO. JWS48255500 EXP. 03/31/2021

NO.	REVISION	BY	DATE
1	REV. PER ENGINEER CERTIFICATION	EM	10/22/18
2	REV. PER BOROUGH COMMENTS	EM	01/02/2020

DATE: 5/19/2020  
  
 JOHN HANSEN  
 PROFESSIONAL ENGINEER  
 N.J. P.E. NO. 246284146500

PROJECT:  
**6 EAST MAIN STREET  
 PRELIMINARY AND FINAL  
 MAJOR SITE PLAN  
 BLOCK 601, LOT 3  
 MENDHAM BOROUGH**  
 MORRIS COUNTY NEW JERSEY

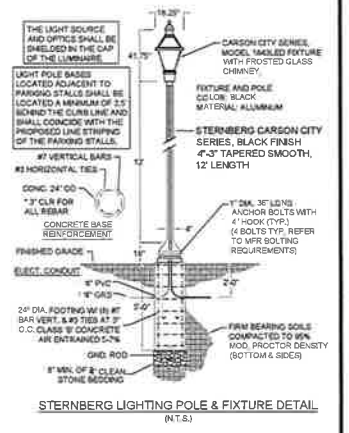
**UTILITY PLAN**

JOB NO. 19135	DRAWING NO. 8
SCALE: 1"=20'	14
DESIGNED: EM	
CHECKED: JH	
TITLEBLOCK: UTILITY.DWG	
DATE: 09/09/2019	

PLANT SCHEDULE							
SYMBOL	CTY.	COMMON NAME	BOTANICAL NAME	HEIGHT	SPREAD	SPACING	NOTES
SHRUBS							
SB	11	AMERICAN LINDEN/SUPERSHIRT	BULBOSPHERULUS	3-4'	3-4'	30'-36"	

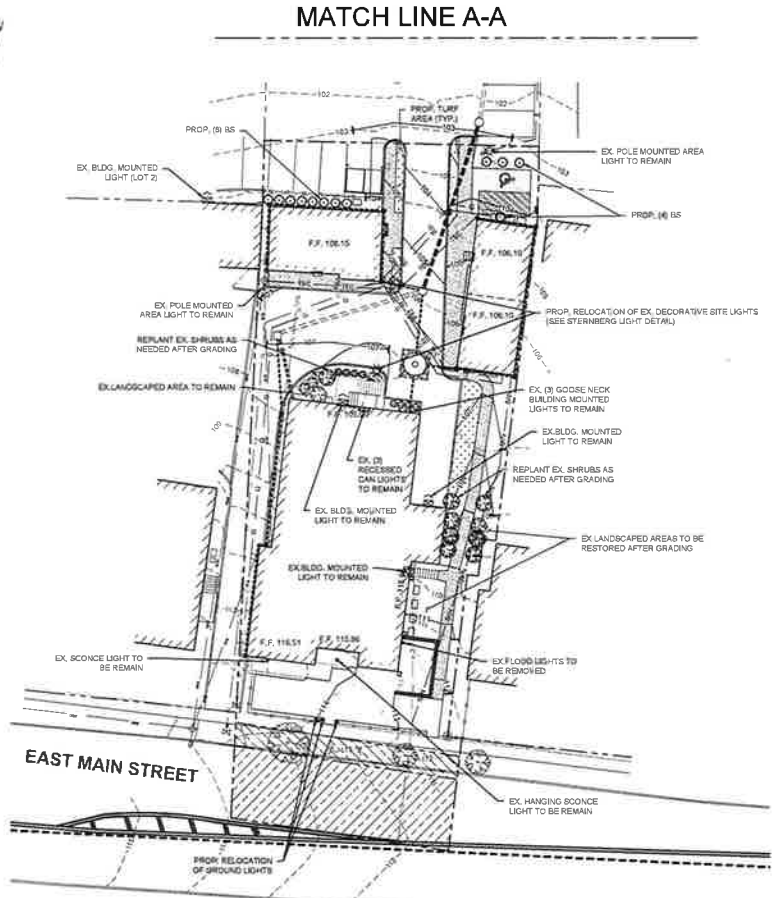
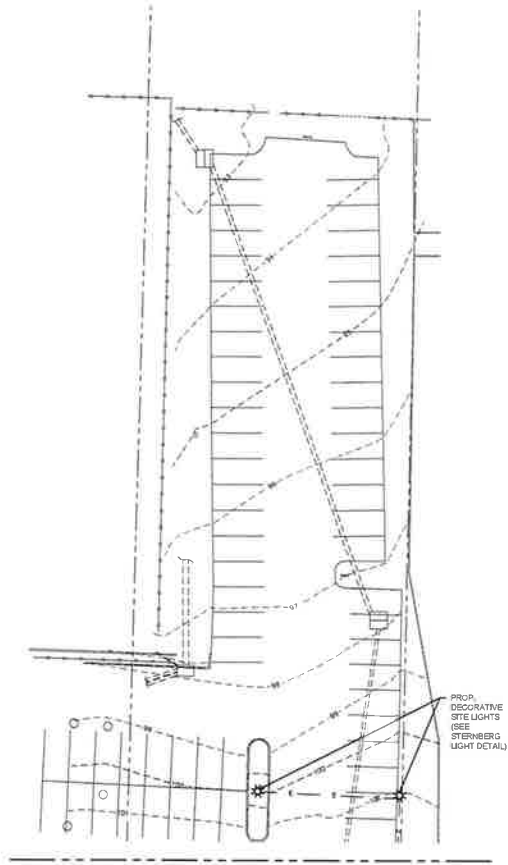
Description	Symbol
Bracing Building Mounted Light	☉
Bracing Pole Mounted Light	☉
Proposed Free-standing Light	☉
Bracing Free-standing Light (Relocated)	☉

LUMINAIRE SCHEDULE						
Symbol Label	Qty	City Catalog #	Description	Lamp	Lumens	LPF
* 4		STERBERG LIGHTING CARSON CITY SERIES	TRADITIONALLY STYLED LANTERN OF SWIRLS LIGHT SOURCE & OPTICS PROTECTED GLASS CHIMNEY	LED ARRAY	5620	0.80



**LANDSCAPING NOTES**

- ALL PLANT MATERIALS SHALL BE OF NURSERY STOCK AND SHALL BE OF SYMMETRICAL GROWTH FREE OF INSECTS, PESTS AND DISEASE. THE OWNER OR HIS REPRESENTATIVE RESERVES THE RIGHT TO INSPECT AND APPROVE ALL PLANT MATERIALS AND REJECT ANY PLANTS FOUND TO BE UNACCEPTABLE.
- DAMAGE TO EXISTING OR NEW WORK BY CONTRACTOR SHALL BE REPAIRED AT HIS EXPENSE.
- CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH ALL UNDERGROUND UTILITIES AND NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO THE SUBMISSION OF BIDS.
- REFER TO MECHANICAL AND SITE DRAWINGS FOR UTILITY INFORMATION. CONTRACTOR SHALL VERIFY PLANT LIST QUANTITIES INDICATED ON PLANS AND NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES IN QUANTITIES PRIOR TO SUBMISSION OF BIDS.
- THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY WITH REGARDS TO THE CARTING, STORING AND PLANTING OF MATERIALS TO PROTECT ADJACENT PAVEMENT AREAS.
- THE CONTRACTOR SHALL ENSURE THAT ALL PLANT MATERIALS SHALL ARRIVE AT THE SITE WITH ROOT BALL AND BURLAP INTACT.
- THE CONTRACTOR SHALL PRUNE ALL NEW MATERIAL REMOVING APPROXIMATELY ONE-THIRD OF THE GROWTH AND REMOVE ALL DEAD AND BROKEN CANES AND BRANCHES. GRADE NEW PLANTING AREAS TO MAINTAIN THE EXISTING GRASS PATTERN.
- ALL TOPSOIL SHALL BE PER HGCO REQUIREMENTS. SEE NOTES ON SCD PLAN.
- THE CONTRACTOR SHALL INSTALL ALL PLANT MATERIALS PER THE PLANTING DETAILS.
- ALL PLANT HOLES SHALL BE BACKFILLED WITH A MIXTURE OF 3 PARTS TOPSOIL TO 1 PART PEATMOSS UNLESS SPECIFIED ON PLAN. ALL PLANTING BEDS TO BE MULCHED WITH 4 INCHES CLEAN FRESH BRIDGEAD HARDWOOD BARK, FREE OF STICKS, LEAVES AND OTHER FOREIGN MATERIALS.
- ALL PLANT MATERIAL SHALL CONFORM TO THE HORTICULTURAL STANDARDS AS SET FORTH BY THE AMERICAN NURSERYMEN AND LANDSCAPING ASSOCIATION (ANLA 2000). CONTRACTOR SHALL REMOVE ALL NON-BIODEGRADABLE ROOT WRAPPINGS PRIOR TO PLANTING.
- TOPSOIL AND SEED ALL DISTURBED AREAS AS A RESULT OF ANY AND ALL CONSTRUCTION OR AREAS OF EQUIPMENT STORAGE EQUIPMENT. CONTRACTOR SHALL REVEAL VEGETATION AREAS OF SEEDING. PROVIDE TOPSOIL TO 4\"/>



**NOTES**

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COMPILED BY: ENGINEER & LAND PLANNING ASSOC., INC. (LLP) 10/11/2020  
 DESIGNED BY: JOHN HANSEN  
 CHECKED BY: JOHN HANSEN  
 DATE: 10/11/2020  
 PROJECT: 6 EAST MAIN STREET PRELIMINARY AND FINAL MAJOR SITE PLAN BLOCK 601, LOT 3 MENDHAM BOROUGH MORRIS COUNTY NEW JERSEY

NO. 1		REV. PER BOROUGH COMMENTS	EM	10/11/2020
NO. 2		REV. PER ENGINEER IDENTIFICATION	EM	10/22/20
NO.	REVISION	BY	DATE	

DATE: 5/19/2020  
 PROJECT: 6 EAST MAIN STREET PRELIMINARY AND FINAL MAJOR SITE PLAN BLOCK 601, LOT 3 MENDHAM BOROUGH MORRIS COUNTY NEW JERSEY

**LANDSCAPING & LIGHTING PLAN**

**DESIGN WAIVER**  
 195 - 57.85 LIGHTING LEVELS AT ALL PROPERTY LINES SHALL NOT EXCEED 0.1 FOOT-CANDLE EXCEPT WHERE DRIVEWAYS MEET A PUBLIC STREET. WAIVER REQUESTED FOR LIGHTING LEVELS AT PROPERTY LINES TO EXCEED 0.1 FOOT-CANDLE DUE TO THE PROXIMITY OF THE RESIDENTIAL UNITS TO THE PROPERTY LINES.

**LIGHTING NOTE**  
 FINAL LIGHTING DESIGN AND PHOTOMETRICS TO BE APPROVED BY BOROUGH ENGINEER.



DATE:	09/09/2019
SCALE:	1"=20'
PREPARED BY:	EM
CHECKED BY:	JH
DRAWING NO.:	19135
DATE:	09/09/2019

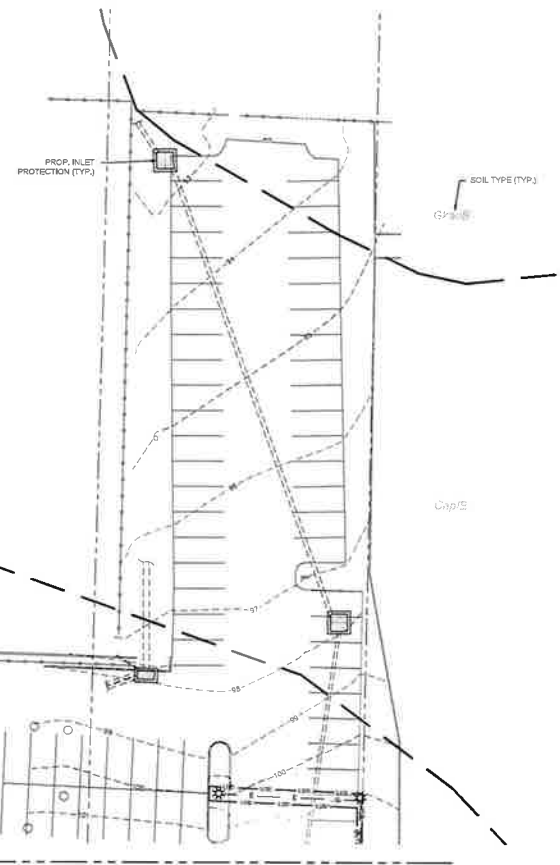
9  
14



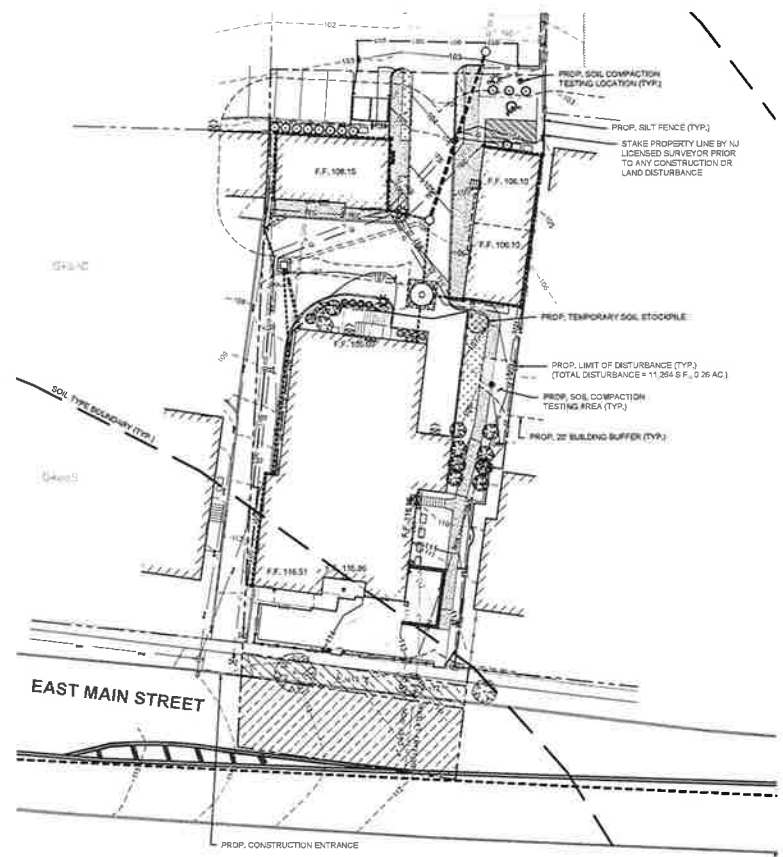
**LEGEND**

	SILT FENCE
	LIMIT OF DISTURBANCE
	SOIL TYPE BOUNDARY
USWAPS	
	SOIL TYPE
	INLET PROTECTION
	SOIL COMPACTION TESTING AREA
	SOIL COMPACTION TESTING LOCATION

MATCH LINE A-A



MATCH LINE A-A



**NOTE**  
 1. THIS SET OF PLANS HAS BEEN PREPARED FOR THE PURPOSES OF MUNICIPAL AND AGENCY APPROVAL. THIS SET OF PLANS SHALL NOT BE USED FOR CONSTRUCTION DOCUMENTS UNTIL ALL CONDITIONS OF APPROVAL HAVE BEEN SATISFIED AND EACH DRAWING HAS BEEN MARKED "READY FOR CONSTRUCTION."

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**E&LP**

140 WEST MAIN STREET      HIGH BRIDGE, NJ 08859  
 PH: 908-258-0541      FAX: 908-258-0572  
 A PROFESSIONAL ASSOCIATION  
 CERTIFICATE OF AUTHORIZATION NO. 26638CT508 EXP. 03/31/2020

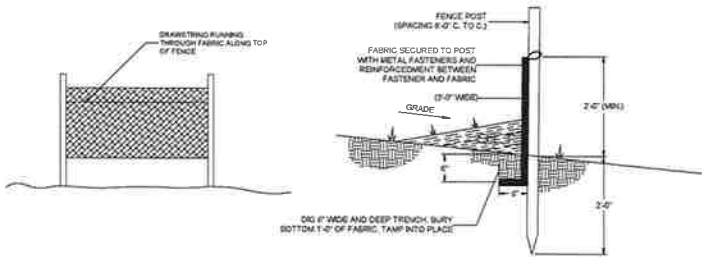
2	REV. PER BOROUGH COMMENTS	EM	2/19/2020
1	REV. PER ENGINEER CERTIFICATION	EM	10/03/19
NO.	REVISION	BY	DATE
5/19/2020			
DATE		 JOHN HANSEN PROFESSIONAL ENGINEER N.J. P.E. NO. 246524194500	

PROJECT  
 6 EAST MAIN STREET  
 PRELIMINARY AND FINAL  
 MAJOR SITE PLAN  
 BLOCK 601, LOT 3  
 MENDHAM BOROUGH  
 MORRIS COUNTY      NEW JERSEY

**SOIL EROSION & SEDIMENT CONTROL PLAN**

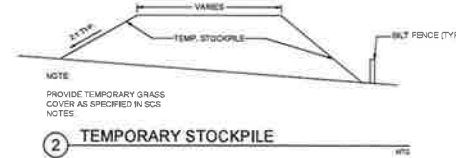
SHEET NO.: 101.25 SCALE: 1"=20' DESIGNED: EM CHECKED: JH FILENAME: EROSION.DWG DATE: 09/09/2019	SHEET NO.: 10 14
--	---------------------





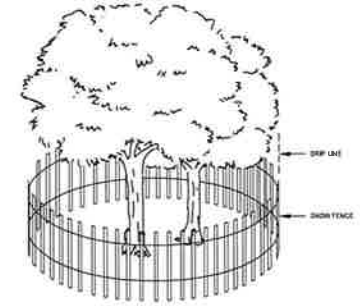
1 SILT FENCE DETAIL

NTS



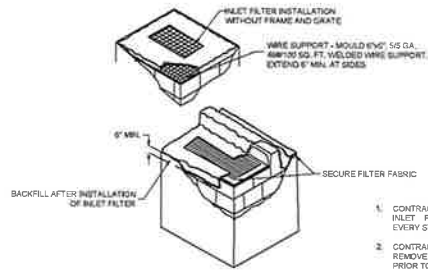
2 TEMPORARY STOCKPILE

NTS



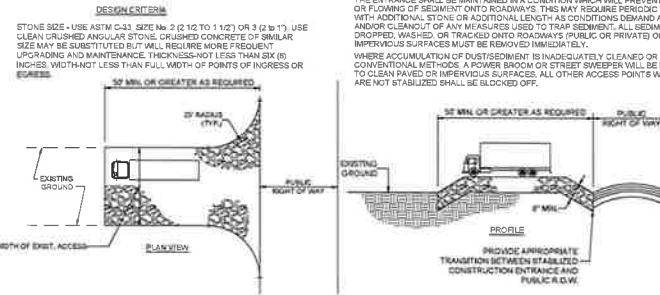
3 TREE PROTECTION DETAIL

NTS



4 INLET FILTER DETAIL

NTS



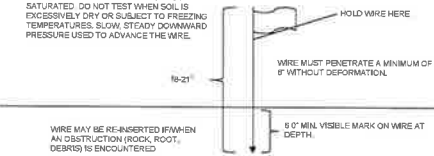
5 STABILIZED CONSTRUCTION ACCESS

NTS

SIMPLIFIED TESTING METHODS

PROBING WIRE TEST - 15.5 GA STEEL WIRE (SURVEY FLAG)

NOTE: SOIL SHOULD BE MOIST BUT NOT SATURATED. DO NOT TEST WHEN SOIL IS EXCESSIVELY DRY OR SUBJECT TO FREEZING TEMPERATURES. SLOW, STEADY DOWNWARD PRESSURE USED TO ADVANCE THE WIRE.

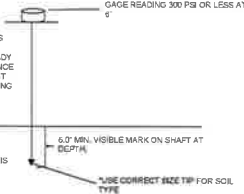


WIRE MAY BE RE-INSERTED IF WHEN AN OBSTRUCTION (ROCK, ROOT, DEBRIS) IS ENCOUNTERED

HAND-HELD SOIL PENETROMETER TEST

NOTE: SOIL SHOULD BE MOIST BUT NOT SATURATED. DO NOT TEST WHEN SOIL IS EXCESSIVELY DRY OR SUBJECT TO FREEZING TEMPERATURES. SLOW, STEADY DOWNWARD PRESSURE USED TO ADVANCE THE PROBE. PROBE MUST PENETRATE AT LEAST 6\"/>

PENETROMETER MAY BE RE-INSERTED IF WHEN AN OBSTRUCTION (ROCK, ROOT, DEBRIS) IS ENCOUNTERED.



6 SOIL COMPACTION DETAILS

NTS

SOIL DE-COMPACTION AND TESTING REQUIREMENTS

SOIL COMPACTION TESTING REQUIREMENTS

- SUBGRADE SOILS PRIOR TO THE APPLICATION OF TOPSOIL (SEE PERMANENT SEEDING AND STABILIZATION NOTES FOR TOPSOIL REQUIREMENTS) SHALL BE FREE OF EXCESSIVE COMPACTION TO A DEPTH OF 6.0 INCHES TO ENHANCE THE ESTABLISHMENT OF PERMANENT VEGETATIVE COVER.
- AREAS OF THE SITE WHICH ARE SUBJECT TO COMPACTION TESTING AND/OR MITIGATION ARE GRAPHICALLY DENOTED ON THE CERTIFIED SOIL EROSION CONTROL PLAN.
- COMPACTION TESTING LOCATIONS ARE DENOTED ON THE PLAN. A COPY OF THE PLAN OR PORTION OF THE PLAN SHALL BE USED TO MARK LOCATIONS OF TESTS, AND ATTACHED TO THE COMPACTION REMEDIATION FORM AVAILABLE FROM THE LOCAL SOIL CONSERVATION DISTRICT. THIS FORM MUST BE FILLED OUT AND SUBMITTED PRIOR TO RECEIVING A CERTIFICATE OF COMPLIANCE FROM THE DISTRICT.
- IN THE EVENT THAT TESTING INDICATES COMPACTION IN EXCESS OF THE MAXIMUM THRESHOLDS INDICATED FOR THE SIMPLIFIED TESTING METHODS (SEE DETAILS BELOW), THE CONTRACTOR/OWNER SHALL HAVE THE OPTION TO PERFORM EITHER (1) COMPACTION MITIGATION OVER THE ENTIRE MITIGATION AREA DENOTED ON THE PLAN (INCLUDING IDLENT AREAS), OR (2) PERFORM ADDITIONAL MORE DETAILED TESTING TO ESTABLISH THE LIMITS OF EXCESSIVE COMPACTION WHEREUPON ONLY THE EXCESSIVELY COMPACTED AREAS WOULD REQUIRE COMPACTION MITIGATION. ADDITIONAL DETAILED TESTING SHALL BE PERFORMED BY A TRAINED, LICENSED PROFESSIONAL.

COMPACTION TESTING METHODS

- PROBING WIRE TEST (SEE DETAIL)
- HAND-HELD PENETROMETER TEST (SEE DETAIL)
- TUBE BULK DENSITY TEST (LICENSED PROFESSIONAL ENGINEER REQUIRED)
- NUCLEAR DENSITY TEST (LICENSED PROFESSIONAL ENGINEER REQUIRED)

NOTE: ADDITIONAL TESTING METHODS WHICH CONFORM TO ASTM STANDARDS AND SPECIFICATIONS, AND WHICH PRODUCE A DRY WEIGHT SOIL BULK DENSITY MEASUREMENT MAY BE ALLOWED SUBJECT TO DISTRICT APPROVAL.

SOIL COMPACTION TESTING IS NOT REQUIRED IF WHEN SUBSOIL COMPACTION REMEDIATION (SCARIFICATION/TILLAGE @ MINIMUM DEPTHS OR SIMILAR) IS PROPOSED AS PART OF THE SEQUENCE OF CONSTRUCTION.

PROCEDURES FOR SOIL COMPACTION MITIGATION

PROCEDURES SHALL BE USED TO MITIGATE EXCESSIVE SOIL COMPACTION PRIOR TO PLACEMENT OF TOPSOIL AND ESTABLISHMENT OF PERMANENT VEGETATIVE COVER. RESTORATION OF COMPACTED SOILS SHALL BE THROUGH DEEP SCARIFICATION/TILLAGE (9\"/>

NOTES

- THIS SET OF PLANS HAS BEEN PREPARED FOR THE PURPOSES OF PRELIMINARY AND AGENCY APPROVAL. THIS SET OF PLANS SHALL NOT BE UTILIZED FOR CONSTRUCTION OR MITIGATION. ALL CONDITIONS OF APPROVAL HAVE BEEN SATISFIED AND EACH DRAWING HAS BEEN MARKED THEREFOR FOR CONSTRUCTION.

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140 WEST VAN ST. HIGH BRIDGE, NJ 08841  
 PH: 908.258.0484 FAX: 908.258.8172  
 A PROFESSIONAL ASSOCIATION  
 CERTIFICATE OF AUTHORIZATION NO. 2462041949500

NO.	REVISION	BY	DATE
3	REV. PER BOROUGH COMMENTS	EM	01/19/2025
1	REV. PER ENGINEER CERTIFICATION	EM	1/22/21/19

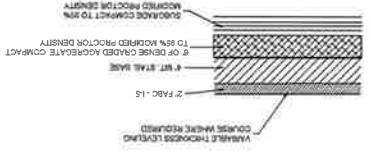
5/19/2020  
 DATE  
 JOHN HANSEN  
 PROFESSIONAL ENGINEER  
 N.J.P.E. NO. 2462041949500

PROJECT  
 6 EAST MAIN STREET  
 PRELIMINARY AND FINAL  
 MAJOR SITE PLAN  
 BLOCK 601, LOT 3  
 MENDHAM BOROUGH  
 MORRIS COUNTY NEW JERSEY

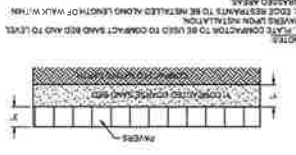
SOIL EROSION & SEDIMENT CONTROL DETAILS

DWG. NO.	19135	DRAWING NO.	12
SCALE	AS SHOWN		14
DESIGNED	EM		
CHECKED	JH		
PLANNED			
DATE	08/09/2019		

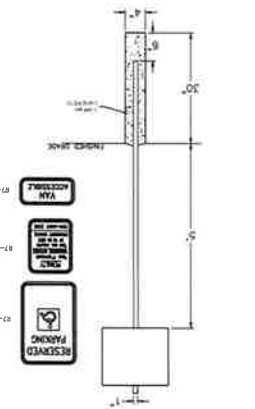
**1 BITUMINOUS PAVING DETAIL**



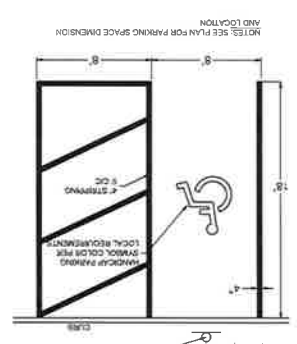
**2 BRICK PAVER WALK DETAIL**



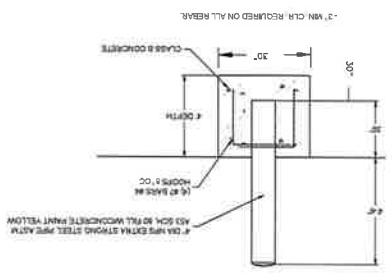
**5 ADA PARKING SIGN DETAIL**



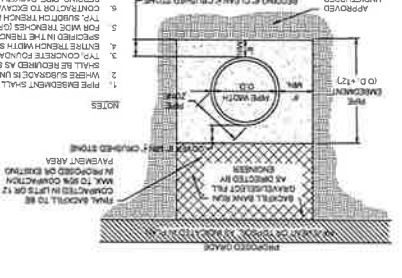
**6 ADA PARKING STALL DETAIL**



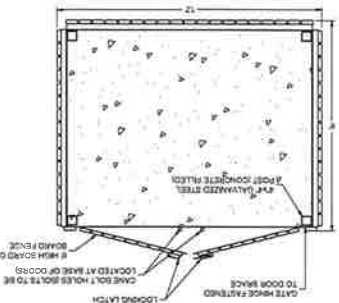
**9 BOLLARD DETAIL**



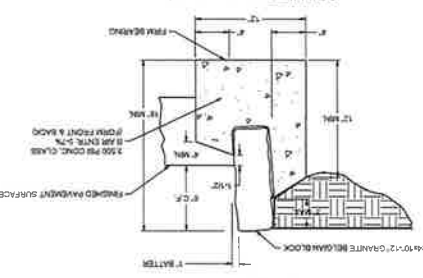
**10 RCP STORM PIPE DETAIL**



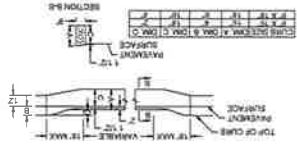
**11 TRASH ENCLOSURE DETAIL**



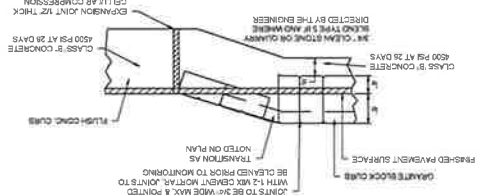
**3 GRANITE CURB DETAIL**



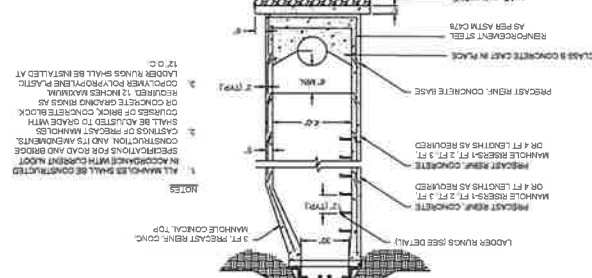
**8 METHOD OF DEPRESSING CURB AT DRIVEWAY DETAIL**



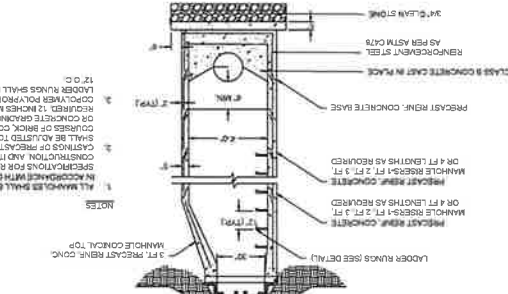
**4 FLUSHED CONCRETE/GRANITE BLOCK TRANSITION**



**10 PRECAST STANDARD STORM MANHOLE**



**11 PRECAST STANDARD STORM MANHOLE**



DATE	09/28/2015
DETAILS/DWG	
DESIGNED BY	JH
CHECKED BY	BM
AS SHOWN	
DATE	19135

**CONSTRUCTION DETAILS**

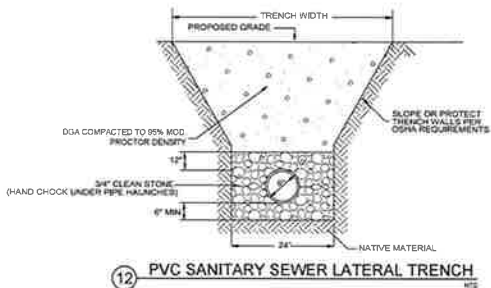
PROJECT: 8 EAST MAIN STREET, PRELIMINARY ANNUAL PLAN, BLOCK 801, LOT 3, MENHAM BOROUGH, NEW JERSEY MORGAN COUNTY

DATE: 5/19/2020  
DESIGNED BY: JOHN HARTSEN  
CHECKED BY: JH

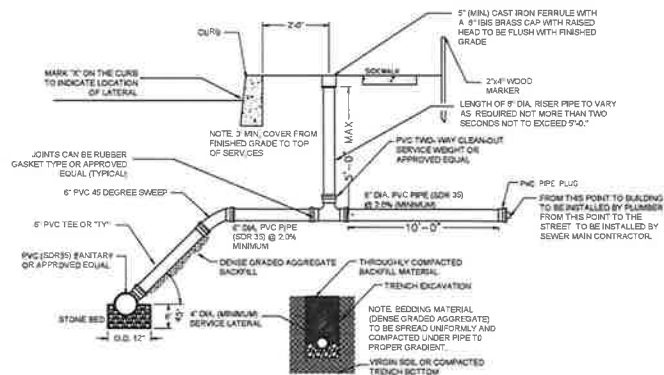
NO.	REVISION	BY	DATE
1	REV. PER ENGINEER COMMENT	JH	5/19/2020
2	REV. PER BOROUGH COMMENTS	JH	5/19/2020

CONTRACTOR: HIGHWAY ENGINEERING INC., 1000 ROUTE 100, SUITE 200, PLAINFIELD, NJ 07060  
OWNER: HIGHWAY ENGINEERING INC., 1000 ROUTE 100, SUITE 200, PLAINFIELD, NJ 07060

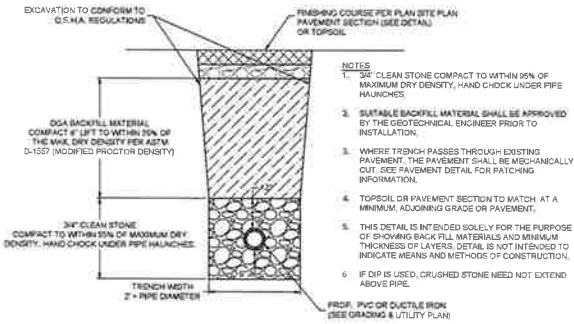
**NOTES:**  
1. THE SET OF PLANS HAS BEEN PREPARED FOR THE PURPOSES OF SUBMITTING TO THE BOROUGH ENGINEER FOR REVIEW AND APPROVAL. ANY CHANGES TO BE MADE TO THE PLANS MUST BE MADE IN WRITING AND APPROVED BY THE ENGINEER.  
2. THE ENGINEER HAS NOT PERFORMED A VISUAL SURVEY OF THE SITE AND HAS NOT BEEN ADVISED OF ANY OBSTRUCTIONS OR CONDITIONS THAT MAY AFFECT THE CONSTRUCTION OF THE PROJECT.  
3. THE ENGINEER HAS NOT PERFORMED A VISUAL SURVEY OF THE SITE AND HAS NOT BEEN ADVISED OF ANY OBSTRUCTIONS OR CONDITIONS THAT MAY AFFECT THE CONSTRUCTION OF THE PROJECT.  
4. THE ENGINEER HAS NOT PERFORMED A VISUAL SURVEY OF THE SITE AND HAS NOT BEEN ADVISED OF ANY OBSTRUCTIONS OR CONDITIONS THAT MAY AFFECT THE CONSTRUCTION OF THE PROJECT.



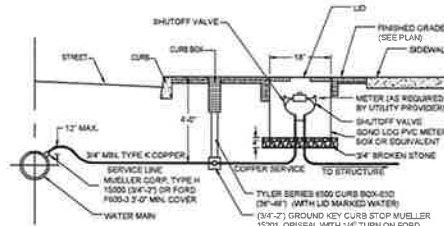
12 PVC SANITARY SEWER LATERAL TRENCH



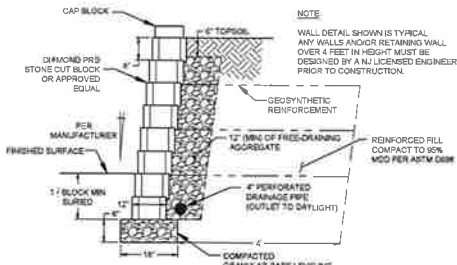
13 TYPICAL SANITARY LATERAL DETAIL



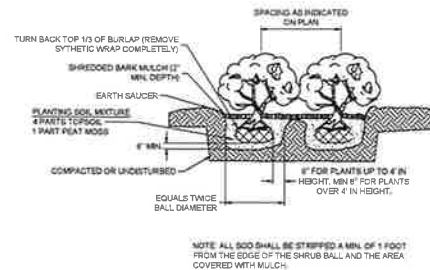
15 WATER SERVICE TRENCH DETAIL



16 WATER SERVICE DETAIL

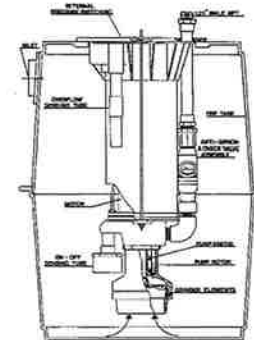


17 TYPICAL MODULAR BLOCK RETAINING WALL



18 TYPICAL SHRUB PLANTING

BASIC ENVIRONMENT ONE GRINDER PUMP



14 TYPICAL E-ONE PUMP DETAIL

NOTE  
1. FINAL DESIGN AND DIMENSIONS OF GRINDER PUMP TO BE PROVIDED AND APPROVED BY BOROUGH ENGINEER PRIOR TO ISSUANCE OF BUILDING PERMIT.

NOTE:  
2. THIS SET OF PLANS HAS BEEN PREPARED FOR THE PURPOSES OF PRELIMINARY AND FINAL APPROVAL. THIS SET OF PLANS SHALL NOT BE USED FOR CONSTRUCTION DOCUMENTS UNTIL ALL CONDITIONS OF APPROVAL HAVE BEEN MET AND EACH DRAWING HAS BEEN MARKED 'ISSUED FOR CONSTRUCTION'.

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140 WEST MAIN STREET HIGH BROOK, NJ 07928  
PA 908-226-5572 FAX 908-226-5572  
A PROFESSIONAL ASSOCIATION  
CERTIFICATE OF AUTHORIZATION NO. ENGINEERING EXP. 012122

NO.	REVISION	BY	DATE
3	REV. PER BOROUGH COMMENTS	EM	01/10/2028
1	REV. PER ENGINEER CERTIFICATION	EM	10/22/19

5/19/2020  
DATE  
PROJECT  
8 EAST MAIN STREET  
PRELIMINARY AND FINAL  
MAJOR SITE PLAN  
BLOCK 601, LOT 3  
MENDHAM BOROUGH  
MORRIS COUNTY NEW JERSEY

PROJECT  
8 EAST MAIN STREET  
PRELIMINARY AND FINAL  
MAJOR SITE PLAN  
BLOCK 601, LOT 3  
MENDHAM BOROUGH  
MORRIS COUNTY NEW JERSEY

TITLE  
CONSTRUCTION DETAILS

JOB NO.	19136	DRAWING NO.
SCALE	AS SHOWN	14
DESIGNED	EM	
CHECKED	JH	
TITLE	DETAILS DWG	
DATE	03/09/2019	14

# STONEFIELD

May 19, 2020

Borough of Mendham  
Zoning Board of Adjustment  
2 West Main Street  
Mendham, New Jersey 07945

**RE: Traffic & Parking Assessment Report  
Proposed Mixed-Use Development  
6 East Main Street  
Block 601, Lot 3  
Borough of Mendham, Morris County, New Jersey  
SE&D Job No. RUT-200105**

Dear Board Members:

Stonefield Engineering and Design, LLC (“Stonefield”) has prepared this analysis to examine the potential traffic and parking impacts of the proposed mixed-use development on the adjacent roadway network. The subject property is located along the westbound side of East Main Street between Mountain Avenue and Orchard Street in the Borough of Mendham, Morris County, New Jersey. The subject property is designated as Block 601, Lot 3 as depicted on the Borough of Mendham Tax Map. The site has approximately 77 feet of frontage along East Main Street. The existing site contains a two (2)-story building referred to as the main building, a two (2)-story building referred to as the barn building, and a two (2)-story building referred to as the garage building. The existing access is provided via one (1) ingress-only driveway along East Main Street and one (1) egress-only driveway along Mountain Avenue via a cross-access connection with Lots 1, 2, and 16. Under the proposed development program, the existing 1,989-square-foot Fun House Furnishings & Design would remain as-is and the remainder of the main building would be reoccupied with a 75-seat, 2,037-square-foot restaurant and four (4) residential dwelling units. The barn building would be converted into one (1) residential dwelling unit and the garage building would be converted into two (2) residential dwelling units; totaling seven (7) residential dwelling units on-site. The existing ingress-only driveway along East Main Street and the egress-only driveway along Mountain Avenue would remain as-is.

## Existing Conditions

The subject property is located along the westbound side of East Main Street between Mountain Avenue and Orchard Street in the Borough of Mendham, Morris County, New Jersey. The subject property is designated as Block 601, Lot 3 as depicted on the Borough of Mendham Tax Map. The site has approximately 77 feet of frontage along East Main Street. Land uses in the area are a mix of retail, residential, office, and religious uses.

East Main Street (CR 510) is classified as an Urban Minor Arterial roadway with a general east-west orientation and is under the jurisdiction of Morris County. Along the site frontage, the roadway provides one (1) lane of travel in each direction and has a posted speed limit of 30 mph. Curb and sidewalk are provided along both sides of the roadway, shoulders are not provided, and on-street parking is permitted with a one (1)-hour parking restriction in effect from 7:00 a.m. to 7:00 p.m. along the southerly side of the roadway and a parking restriction from 7:00 a.m. to 9:00 a.m. and from 2:00 p.m. to 6:00 p.m. on the northerly side of the roadway. Main Street provides east-west mobility throughout the Borough of Mendham and surrounding municipalities for a mix of residential, retail, office, educational, and religious uses along its length and provides access to U.S. Route 206 to the west of the site.

STONEFIELDENG.COM

92 PARK AVENUE, RUTHERFORD, NJ 07070 201.340.4468 T. 201.340.4472 F.



Mountain Avenue is a local roadway with a general north-south orientation and is under the jurisdiction of the Borough of Mendham. Mountain Avenue becomes Hilltop Road (CR 525) to the south of the intersection with Main Street. Along the site frontage, the roadway provides one (1) lane of travel in each direction and has a posted speed limit of 35 mph. Curb and sidewalk are provided along both sides of the roadway, shoulders are not provided, and on-street parking is not permitted. Mountain Avenue provides north-south mobility within the Borough of Mendham for a mix of residential and retail uses along its length.

Main Street, Mountain Avenue, and Hilltop Road intersect to form a signalized four (4) leg intersection. The eastbound and westbound approaches of Main Street each provide one (1) exclusive left-turn lane, one (1) exclusive through lane, and one (1) exclusive right-turn lane. The northbound approach of Hilltop Road provides one (1) exclusive left-turn lane and one (1) shared through/right-turn lane and the southbound approach of Mountain Avenue provides one (1) full-movement lane. Crosswalks and pedestrian signals are provided across each leg of the intersection.

### Trip Generation

Trip generation projections for the proposed mixed-use development were prepared utilizing the Institute of Transportation Engineers' (ITE) Trip Generation Manual, 10<sup>th</sup> Edition. Trip generation rates associated with Land Use 220 "Multifamily Housing (Low-Rise)", Land Use 820 "Shopping Center", and Land Use 932 "High Turnover Restaurant" were cited for the proposed seven (7) residential units, 1,989 square feet of retail space, and a 75-seat restaurant, respectively. It is noted that the specific tenant of the restaurant use is not known and that the trip generation rates used for the restaurant portion of the development may vary based on the eventual end-user of the restaurant space. **Table I** provides the weekday morning, weekday evening, and Saturday midday peak hour trip generation volumes associated with the proposed development.

**TABLE I – PROPOSED TRIP GENERATION**

Land Use	Weekday Morning Peak Hour			Weekday Evening Peak Hour			Saturday Midday Peak Hour		
	Enter	Exit	Total	Enter	Exit	Total	Enter	Exit	Total
7-Unit Multifamily Housing (Low-Rise) ITE Land Use 221	1	2	3	3	1	4	3	2	5
1,989 SF Retail ITE Land Use 820	1	1	2	4	4	8	5	4	9
75-Seat High Turnover Restaurant ITE Land Use 932	19	17	36	18	14	32	21	19	40
<b>Total</b>	<b>21</b>	<b>20</b>	<b>41</b>	<b>25</b>	<b>19</b>	<b>44</b>	<b>29</b>	<b>25</b>	<b>54</b>

The proposed development is expected to generate 41 new trips during the weekday morning peak hour, 44 new trips during the weekday evening peak hour, and 54 new trips during the Saturday midday peak hour. Based on Transportation Impact Analysis for Site Development published by ITE, a trip increase of less than 100 vehicle trips would likely not change the level of service of the adjacent roadway system or appreciably increase the volume-to-capacity ratio of an intersection approach. As such, the proposed development is not anticipated to significantly impact the operations of the adjacent roadway network.

### Site Circulation/Parking Supply

A review was conducted of the proposed mixed-use development using the Site Plan prepared by Engineering & Land Planning Associates, Inc. dated May 18, 2020 and the Architectural Plans prepared by Byrne

Design Associates, LLC. dated May 19, 2020. In completing this review, particular attention was focused on the site access, circulation, and parking supply.

Access is proposed via one (1) ingress-only driveway along East Main Street and one (1) egress-only driveway along Mountain Avenue. The ingress-only driveway along East Main Street would be signed on-site for one-way access to reinforce the proposed one-way configuration. Circulation throughout Lot 3 (the subject property) and the neighboring properties would remain as-is.

The existing surface parking lots located on Block 601, Lots 1, 2, 3, and 16 are shared by the Borough of Mendham and the owners of 2 East Main Street, 4 East Main Street, 6 East Main Street. The report prepared by Brenda Grant, Esq. titled "Parking and Easement Summary" dated April 9, 2019 was referenced to establish the parking locations for the proposed site located at 6 East Main Street. Parking for the proposed site would be located along the drive aisle on Lot 16 located directly to the north of Lot 3 (the subject property), along the rear of the barn and garage buildings on the northerly portion of Lot 3, and two (2) on-street parking spaces would be provided.

Regarding the parking requirements for the proposed development, the Borough of Mendham Ordinance requires two (2) parking spaces per residential dwelling unit, six (6) parking spaces per 1,000 square feet of retail space, and one (1) parking space per 2.5 restaurant seats and one (1) space per two (2) restaurant employees. For the proposed mixed-use development consisting of seven (7) residential dwelling units, 1,989 square feet of retail space, and a 75-seat restaurant with four (4) employees, this equates to 58 required spaces. This parking requirement is a reduction in total parking required as compared to the existing retail uses on site. **Table 2** provides a comparison of the parking requirements of the existing use and the proposed development.

**TABLE 2 – PARKING REQUIREMENT COMPARISON**

<b>Development</b>	<b>Parking Requirement per Ordinance</b>
Existing Use On-Site <i>10,178 SF Retail</i>	61 spaces
Proposed Development <i>1,989 SF Retail</i> <i>75-Seat Restaurant / 4 Employees</i> <i>7 Residential Units</i>	58 spaces

The site would provide a total of 62 parking spaces, inclusive of four (4) parking spaces on Lot 3, 56 parking spaces on Lot 16, and two (2) on-street parking spaces, which meets the parking requirement and would be sufficient to support this project's parking demand. The spaces would be nine (9) feet wide by 18 feet deep in accordance with industry standards.

Section 5:21-4.14(e) of the New Jersey Administrative Code Residential Site Improvements Standards (RSIS) intends for flexibility in the parking requirements. Specifically:

*"When housing is included in mixed-use development, a shared parking approach to the provision of parking shall be permitted."*

Under the proposed development plan, the site would provide a mix of uses which experience peak parking demand at different times throughout the day. Typically, residential uses experience a peak parking demand overnight and retail and restaurant uses experience a peak parking demand during the midday and evening periods. As such, the peak parking demand for the land uses on site would not overlap which would lower the site's overall peak parking demand.

The overnight parking demand is expected to be generated by the residential portion of the site. The Borough of Mendham Ordinance requires two (2) parking spaces per residential dwelling unit. For the proposed development with seven (7) residential units, this equates to 14 residential parking spaces. It is recommended that the four (4) parking spaces on Lot 3 and 10 public spaces within Lot 16 be signed for 6 East Main Street overnight parking.

The parking supply was evaluated with respect to data published within the ITE's Parking Generation, 5<sup>th</sup> Edition, for Land Use 220 "Multifamily Housing (Low-Rise)", Land Use 820 "Shopping Center", and Land Use 932 "High Turnover Restaurant". Specifically, parking generation rates for urban/suburban locations was utilized. The average parking demand rate during the peak weekday period for Land Use 220 "Multifamily Housing (Low-Rise)" is 1.21 vehicles per dwelling unit, for Land Use 820 "Shopping Center" is 1.95 vehicles per 1,000 square feet, and for Land Use 932 "High-Turnover Restaurant" is 0.33 vehicles per seat. For the proposed development with seven (7) residential units, 1,989 square feet of retail space, and a 75-seat restaurant, this equates to 37 parking spaces. As such, the proposed parking supply of 62 spaces would be sufficient to support the parking demand of the site. It is noted that ITE data for high-turnover restaurants consists primarily of sit-down establishments. Although the end user is not known, a restaurant with a greater portion of take-out service would have a lesser parking impact due to vehicles and patrons not staying on site as long as a traditional sit-down restaurant patron.

## Conclusions

This report was prepared to examine the potential traffic and parking impacts of the proposed mixed-use development. The analysis findings, which have been based on industry standard guidelines, indicate that the proposed development would not have a significant impact on the traffic operations of the adjacent roadway network. The site driveways and on-site layout have been designed to provide for effective access to and from the subject property. Based on industry data and local characteristics of the site and surrounding area, the parking supply would be sufficient to support this project.

Please do not hesitate to contact our office if there are any questions.

Best regards,



Matthew J. Seckler, PE, PP, PTOE  
**Stonefield Engineering and Design, LLC**



John R. Corak, PE  
**Stonefield Engineering and Design, LLC**