

**SISTERS OF CHRISTIAN  
CHARITY  
REDEVELOPMENT**  
350 BERNARDSVILLE  
ROAD, MENDHAM NJ  
07945

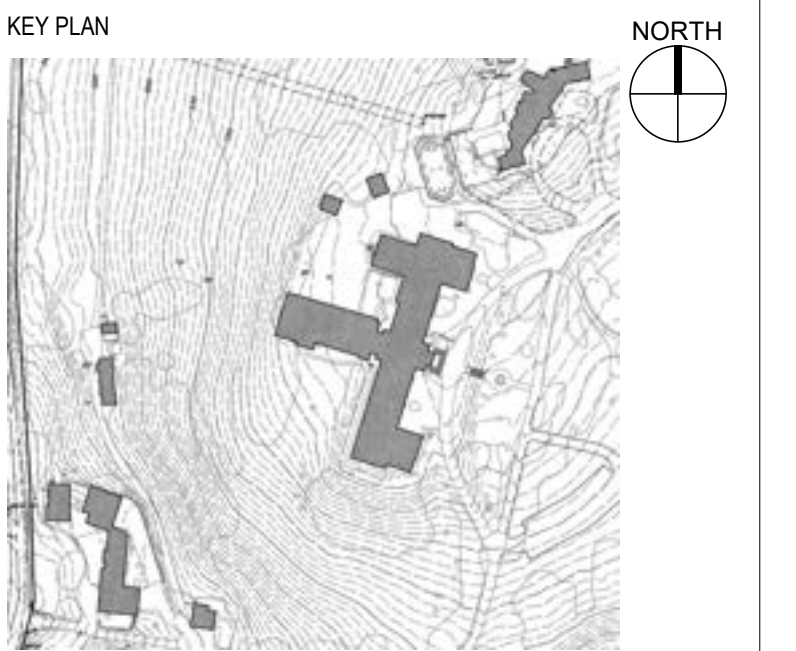
CLIENT  
ACCORDIA REALTY VENTURES  
100 PASSAIC AVENUE, SUITE 150, FAIRFIELD, NJ 07004

ARCHITECT  
**hlw**  
122 MAIN STREET, MADISON, NJ 07940

STRUCTURAL ENGINEER  
NAME  
ADDRESS

MEP ENGINEER  
NAME  
ADDRESS

LIGHTING CONSULTANT  
NAME  
ADDRESS



SIGNATURE

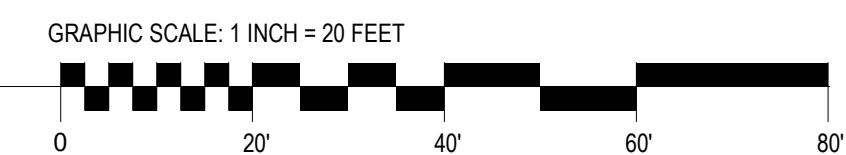
**NOT FOR CONSTRUCTION**

NO.	DATE	ISSUE OR REVISION
<small>DRAWING TITLE:</small>		
<b>SITE PLAN</b>		

<small>SCALE:</small>	<small>DATE:</small>
1" = 100'-0"	02/23/23
<small>QC BY:</small>	<small>PROJECT NO.:</small>
-	20178

DRAWING NO.  
**A-01**

**1** **SITE PLAN**  
SCALE: 1" = 100'-0"





**Key Plan**

- ① Pool
- ② Lounge
- ③ Hot Tub
- ④ Trellis
- ⑤ BBQ Area
- ⑥ Lawn
- ⑦ Shuffle Board
- ⑧ Pickle Ball
- ⑨ Bleacher
- ⑩ Dog Run
- ⑪ Vegetable Garden
- ⑫ Rose Garden
- ⑬ Entry Plaza
- ⑭ Visitor Parking

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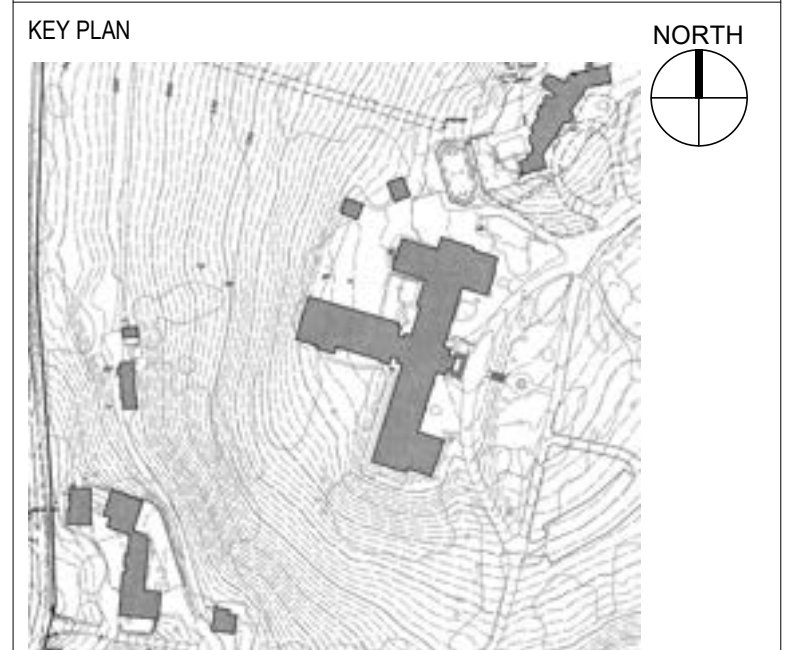
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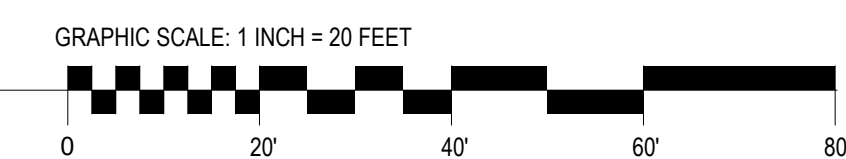
NO.	DATE	ISSUE OR REVISION
DRAWING TITLE:		

**SITE AMENITIES**

SCALE:	DATE:
As indicated	02/23/23
QC BY:	PROJECT NO.
	20178

DRAWING NO.  
**A-02**

**1 SITE AMENITY**  
 SCALE: 3/64" = 1'-0"



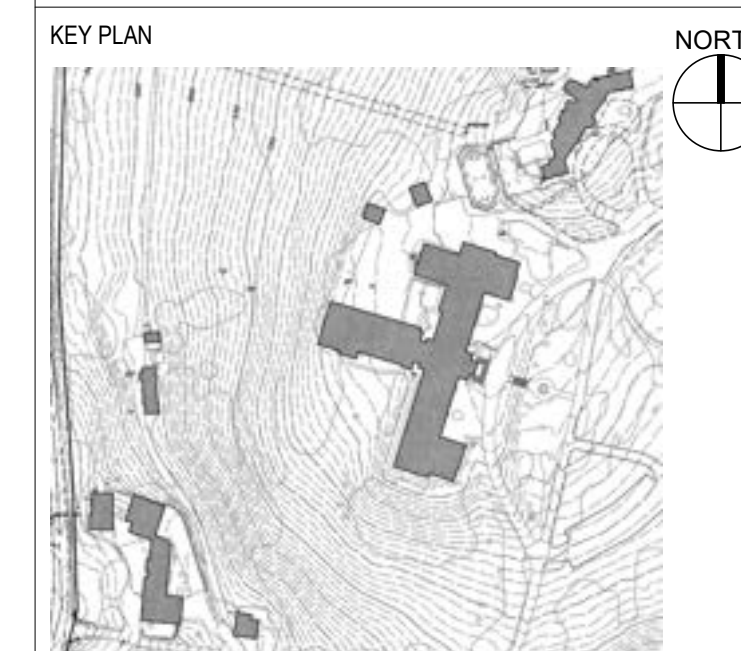
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DRAWING TITLE:

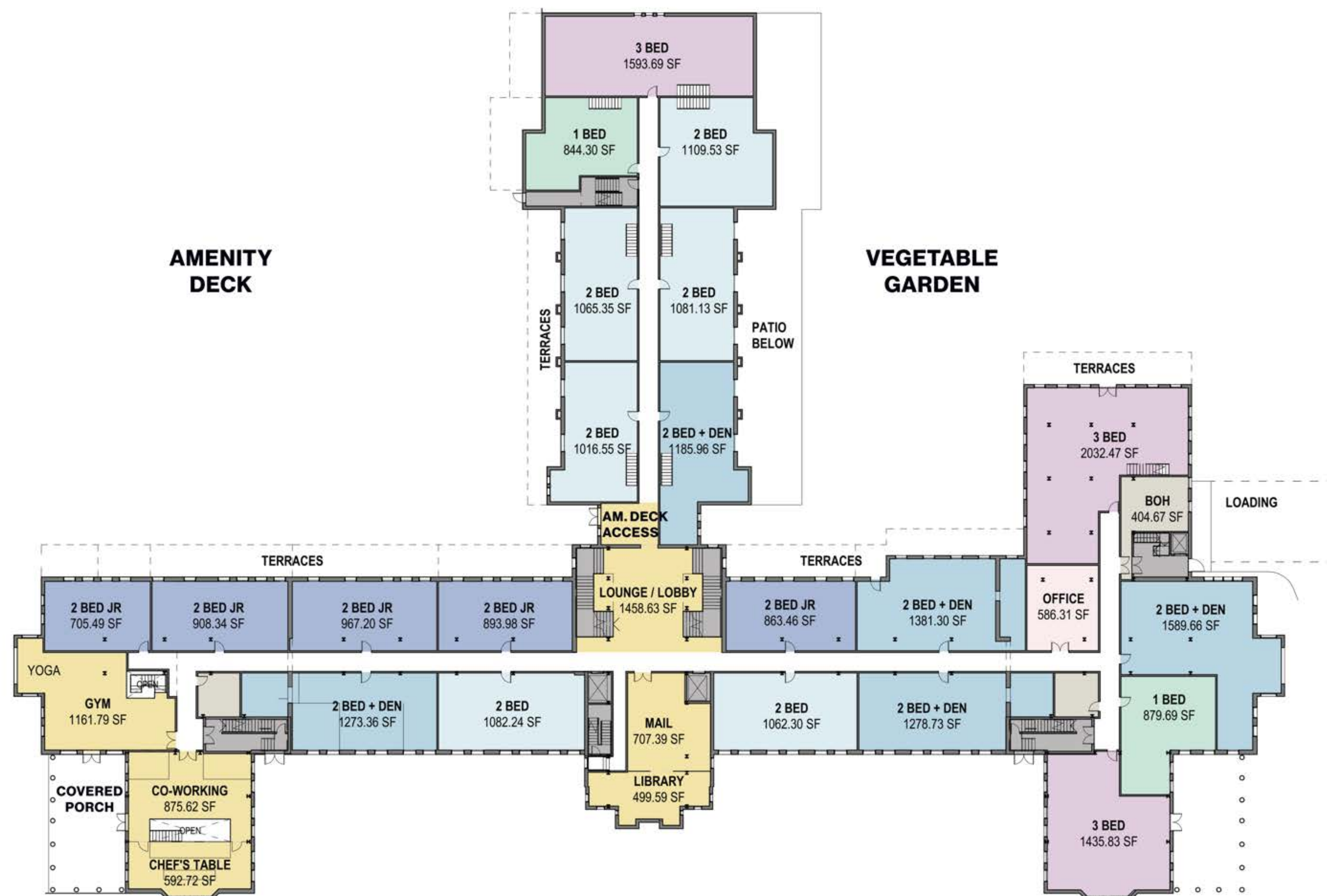
**LEVEL 1 FLOOR PLAN**

SCALE:	DATE:
As indicated	02/23/23

QC BY:	QA BY:	PROJECT NO.
-	-	20178

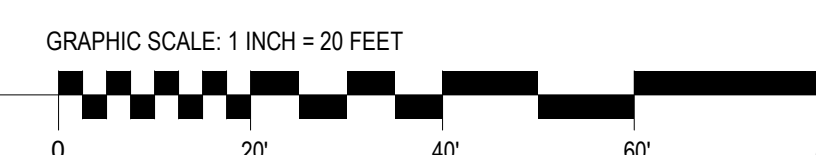
DRAWING NO.  
**A-03**

- 1 BED (650-700 SF)
- 2 BED JR (800 - 1,000 SF)
- 2 BED (1,000 - 1,200 SF)
- 2 BED + DEN (1,300 - 1,400 SF)
- 2 BED DUPLEX (1,300 - 1,400 SF)
- 3 BED (1,400 - 1,700 SF)
- AMENITY
- SERVICES / CORE



POOL DECK

**1 LEVEL 1 FLOOR PLAN**  
 SCALE: 3/64" = 1'-0"



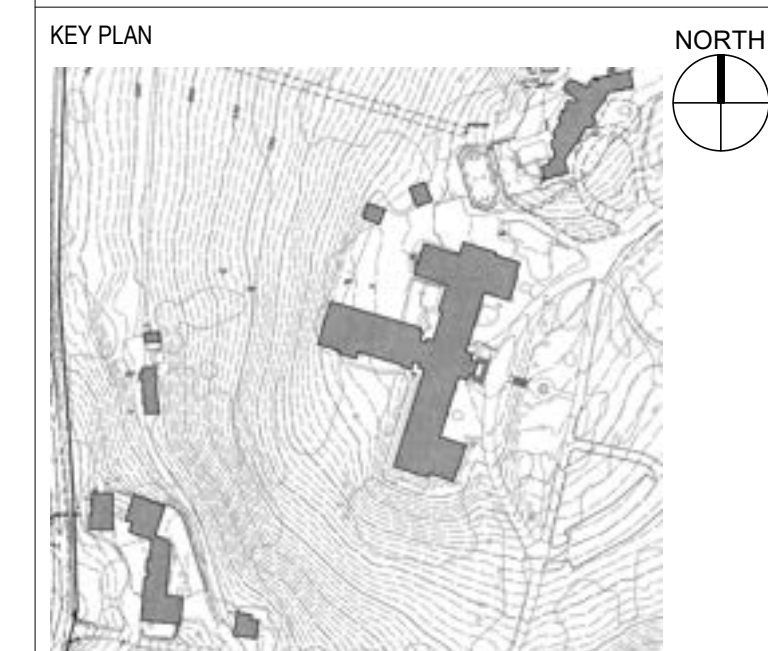
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122 MAIN STREET, MADISON, NJ 07940

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MEP ENGINEER:  
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LIGHTING CONSULTANT:  
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NO.	DATE	ISSUE OR REVISION
DRAWING TITLE:		

ENTRY LEVEL FLOOR PLAN

SCALE:	DATE:
As indicated	02/23/23
QC BY:	PROJECT NO.
-	20178

DRAWING NO.

A-04

- 1 BED (650-700 SF)
- 2 BED JR (800 - 1,000 SF)
- 2 BED (1,000 - 1,200 SF)
- 2 BED + DEN (1,300 - 1,400 SF)
- 2 BED DUPLEX (1,300 - 1,400 SF)
- 3 BED (1,400 - 1,700 SF)
- AMENITY
- SERVICES / CORE



**1** ENTRY LEVEL FLOOR PLAN  
SCALE: 3/64" = 1'-0"

GRAPHIC SCALE: 1 INCH = 20 FEET



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STRUCTURAL ENGINEER

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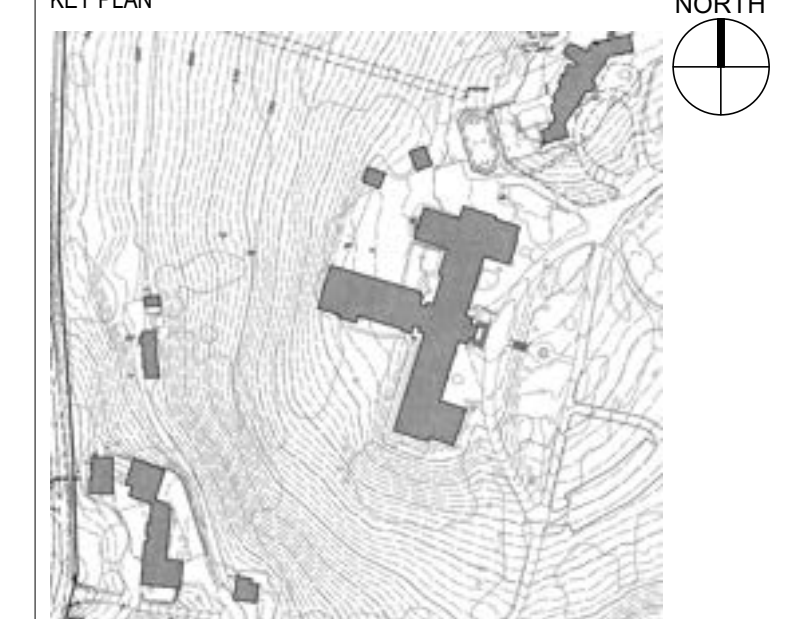
MEP ENGINEER

NAME  
 ADDRESS

LIGHTING CONSULTANT

NAME  
 ADDRESS

KEY PLAN



SIGNATURE

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NO.	DATE	ISSUE OR REVISION

DRAWING TITLE:

**TYPICAL LEVEL FLOOR PLAN**

SCALE: DATE:

As indicated 02/23/23

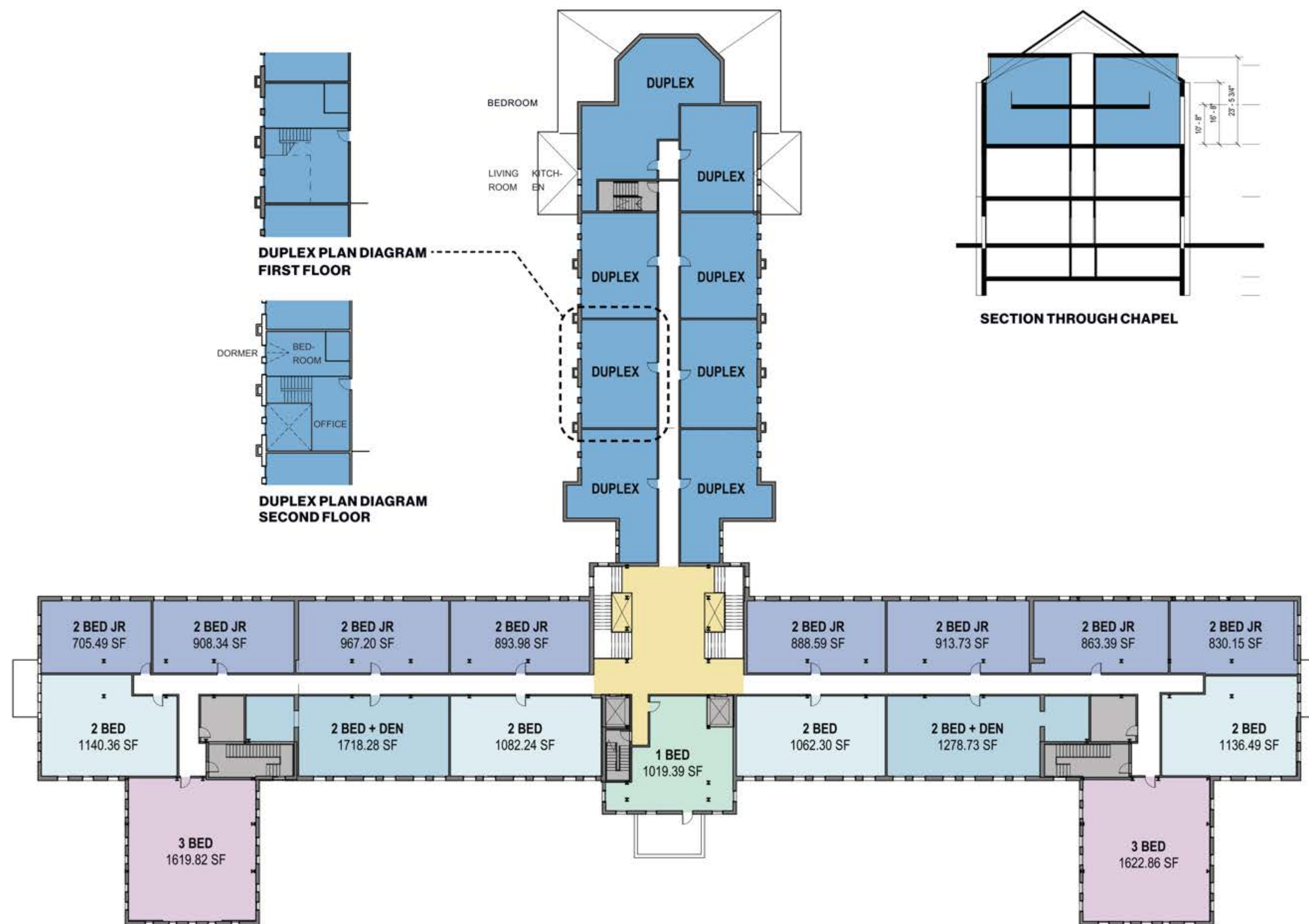
QC BY: QA BY: PROJECT NO.

- - 20178

DRAWING NO.

**A-05**

- 1 BED** (650-700 SF)
- 2 BED JR** (800 - 1,000 SF)
- 2 BED** (1,000 - 1,200 SF)
- 2 BED + DEN** (1,300 - 1,400 SF)
- 2 BED DUPLEX** (1,300 - 1,400 SF)
- 3 BED** (1,400 - 1,700 SF)
- AMENITY**
- SERVICES / CORE**



**1 TYPICAL FLOOR PLAN**  
 SCALE: 3/64" = 1'-0"

GRAPHIC SCALE: 1 INCH = 20 FEET



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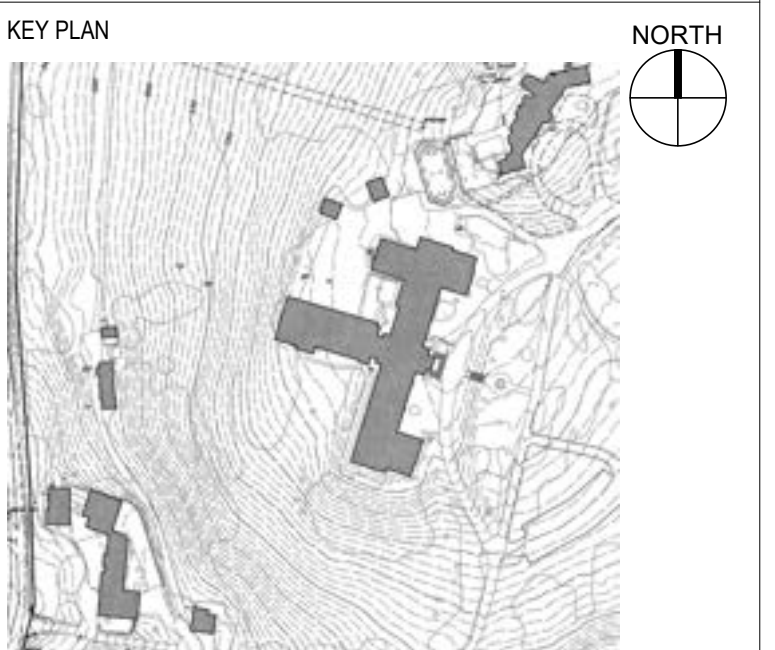
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NO.	DATE	ISSUE OR REVISION
DRAWING TITLE:		

**AMENITY LEVELS FLOOR PLAN**

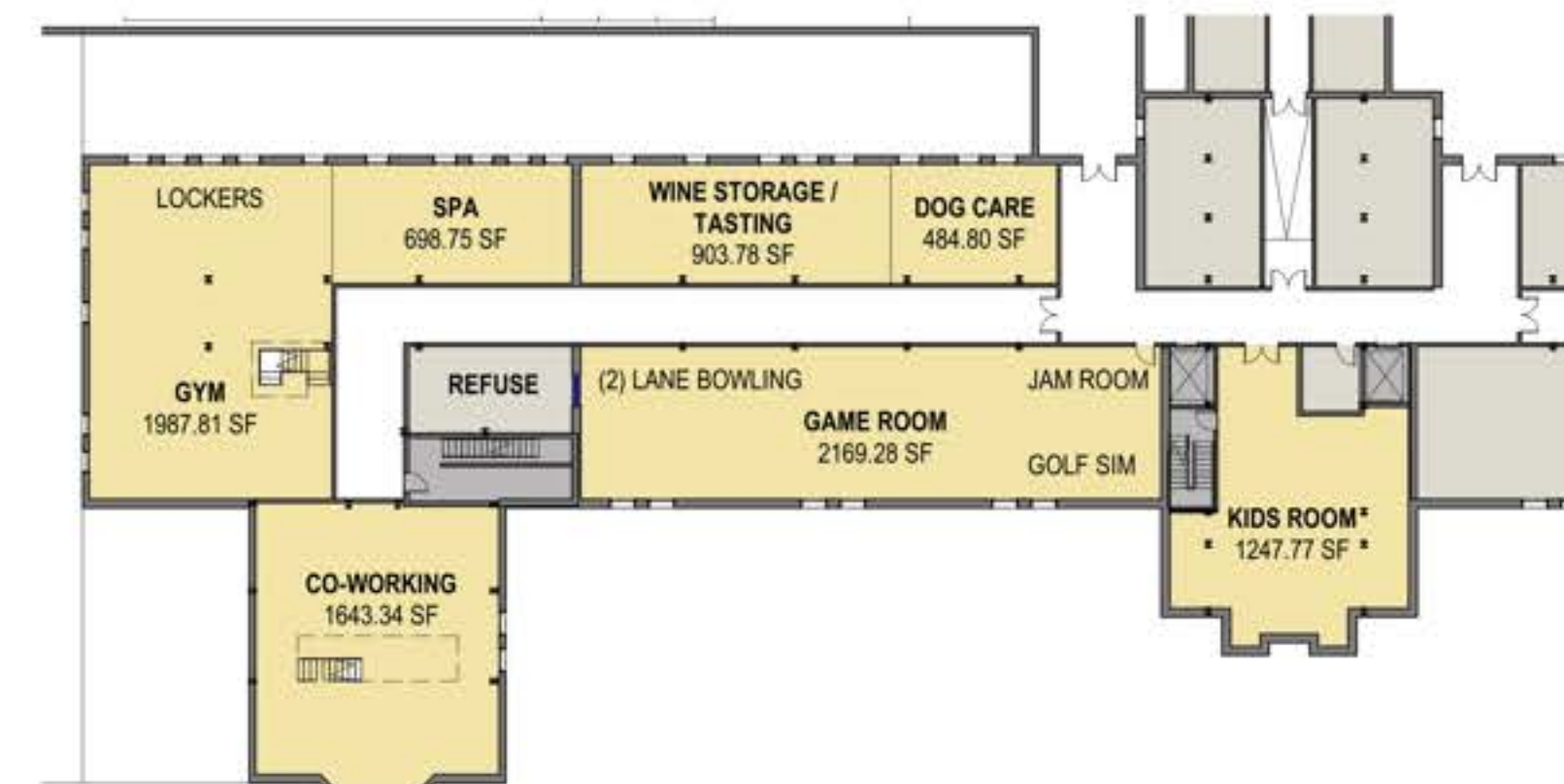
SCALE:	DATE:
As indicated	02/23/23
QC BY:	PROJECT NO.
-	20178

DRAWING NO.  
**A-06**

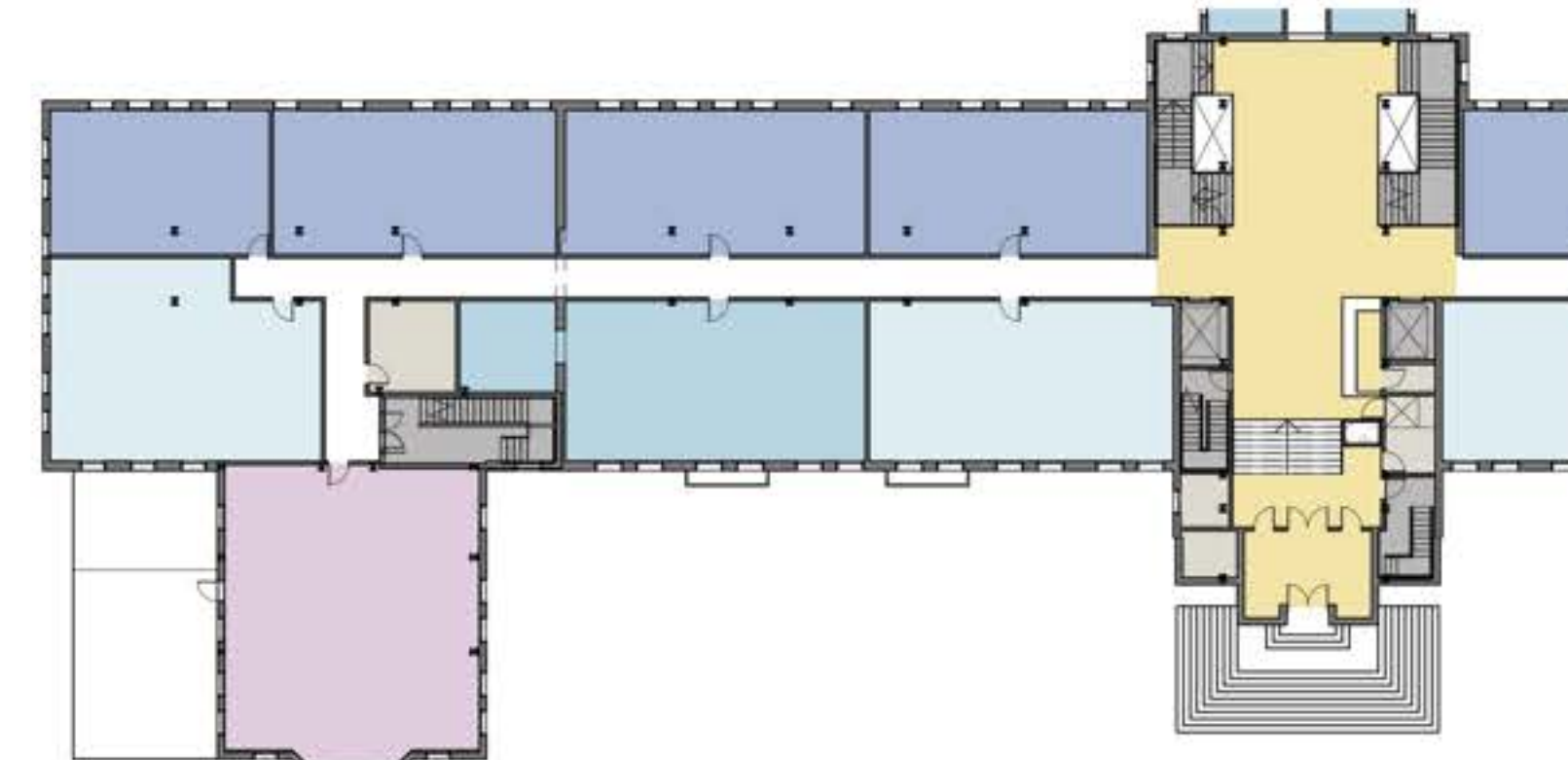
- 1 BED** (650-700 SF)
- 2 BED JR** (800 - 1,000 SF)
- 2 BED** (1,000 - 1,200 SF)
- 2 BED + DEN** (1,300 - 1,400 SF)
- 2 BED DUPLEX** (1,300 - 1,400 SF)
- 3 BED** (1,400 - 1,700 SF)
- AMENITY**
- SERVICES / CORE**



**Amenity Terrace Level 1**



**Amenity Basement Lower Level**



**Entry Level Level 2**

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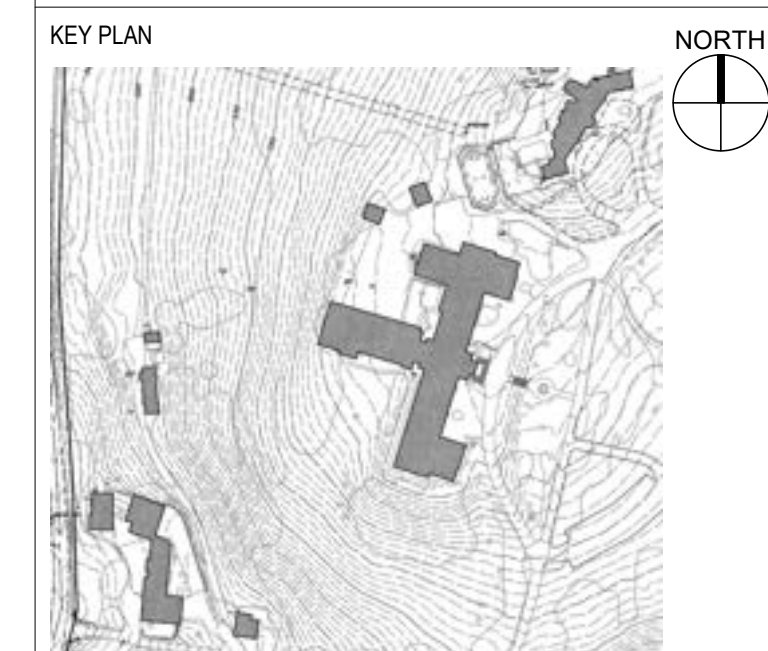
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NO.	DATE	ISSUE OR REVISION
DRAWING TITLE:		
<b>EAST ELEVATION</b>		
SCALE:	DATE:	
1/16" = 1'-0"	02/23/23	
QC BY:	QA BY:	PROJECT NO.
-	-	20178
DRAWING NO.		
<b>A-07</b>		



**1 EAST ELEVATION**  
SCALE: 1/16" = 1'-0"

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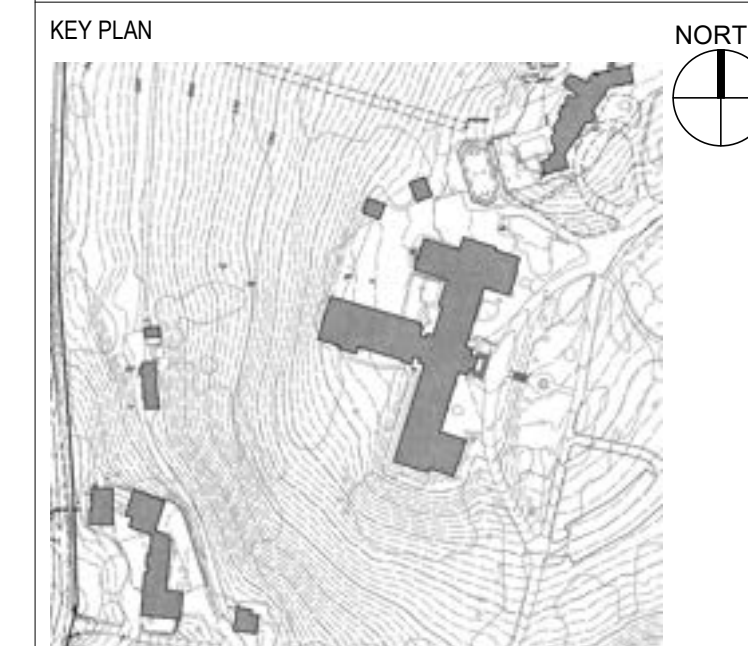
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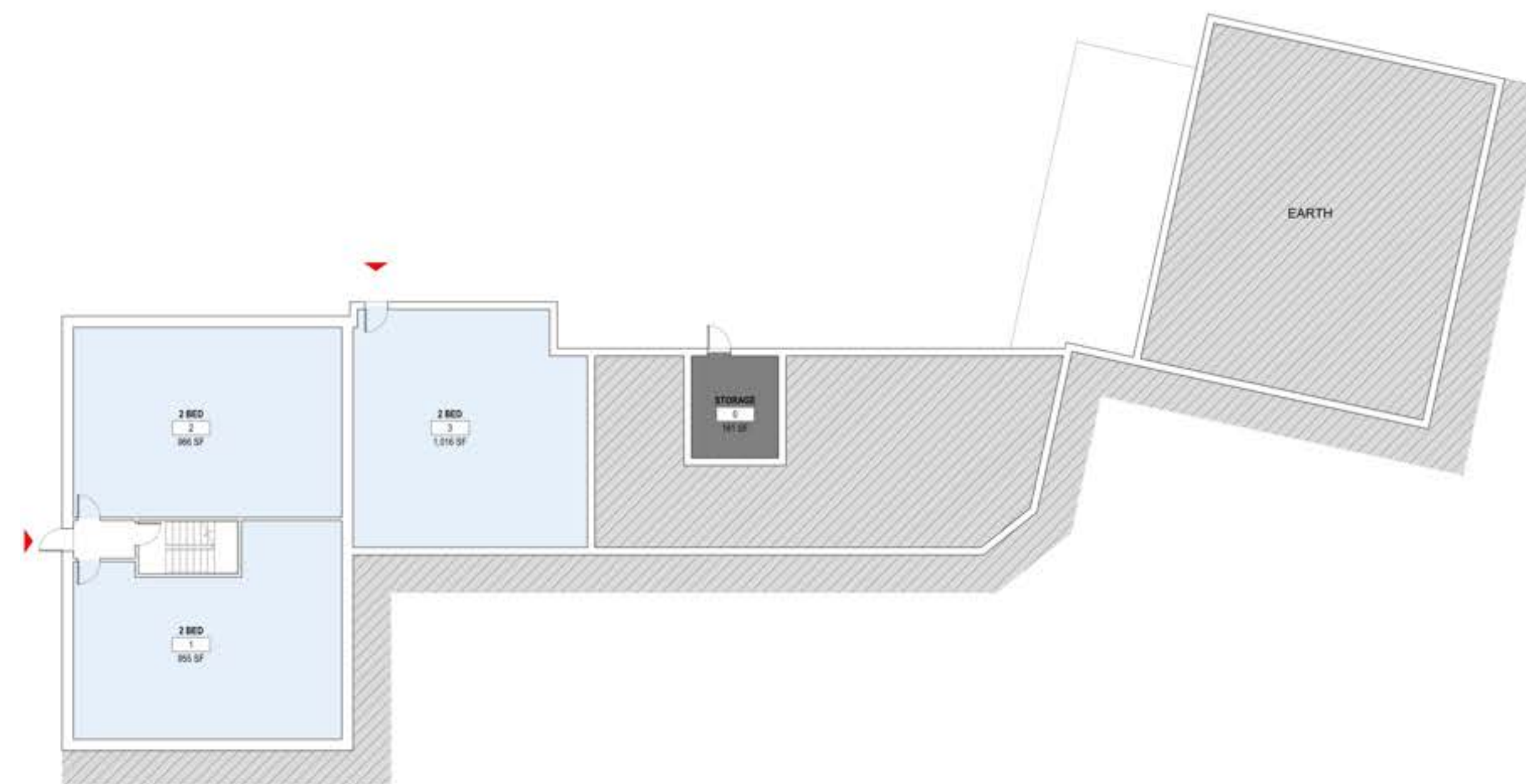


SIGNATURE

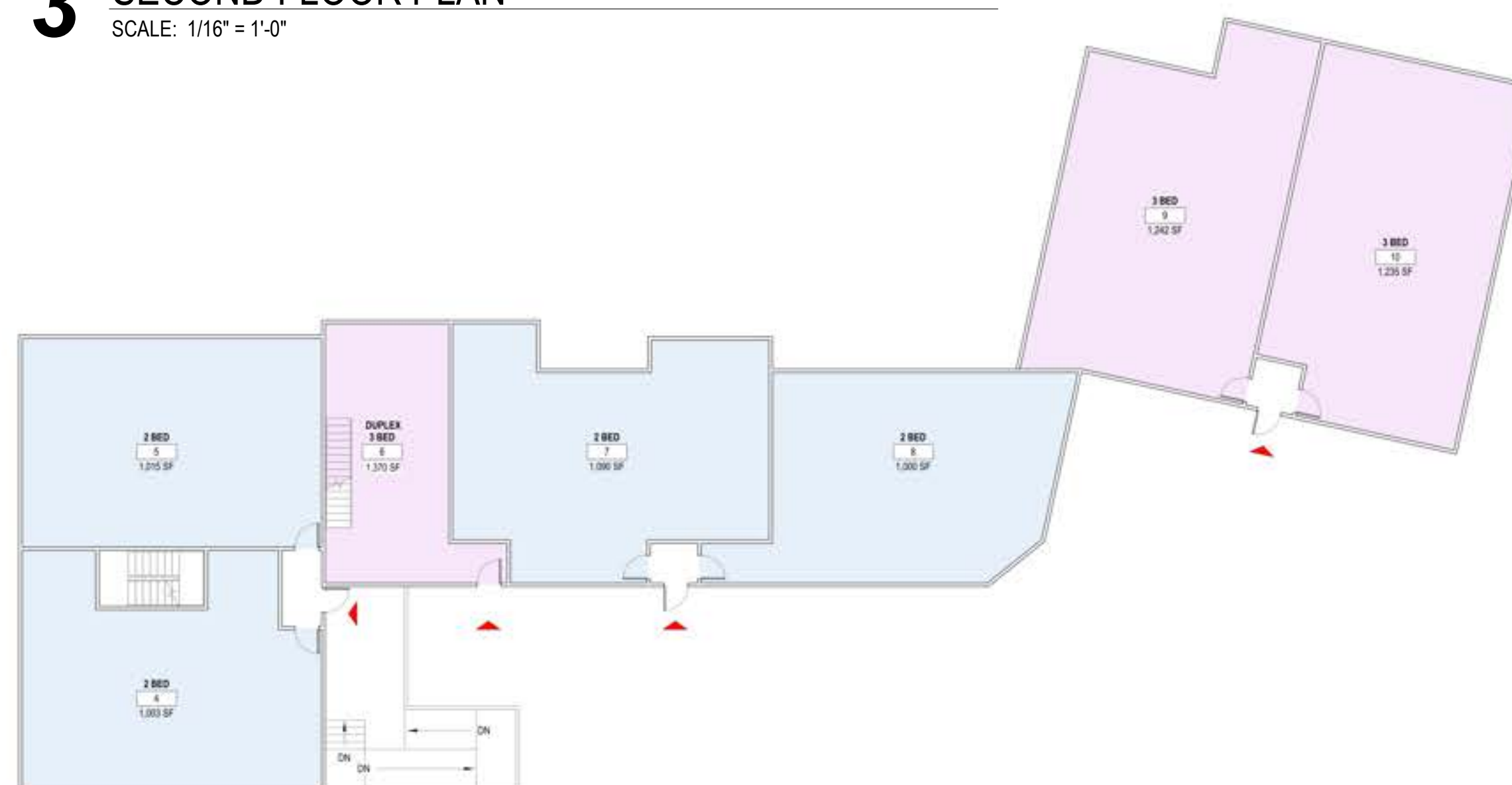
NOT FOR CONSTRUCTION

NO.	DATE	ISSUE OR REVISION
DRAWING TITLE:		
FLOOR PLANS OF THE BARN		
SCALE:	DATE:	
1/16" = 1'-0"	02/23/23	
QC BY:	QA BY:	PROJECT NO.
-	-	20178
DRAWING NO.		
A-08		

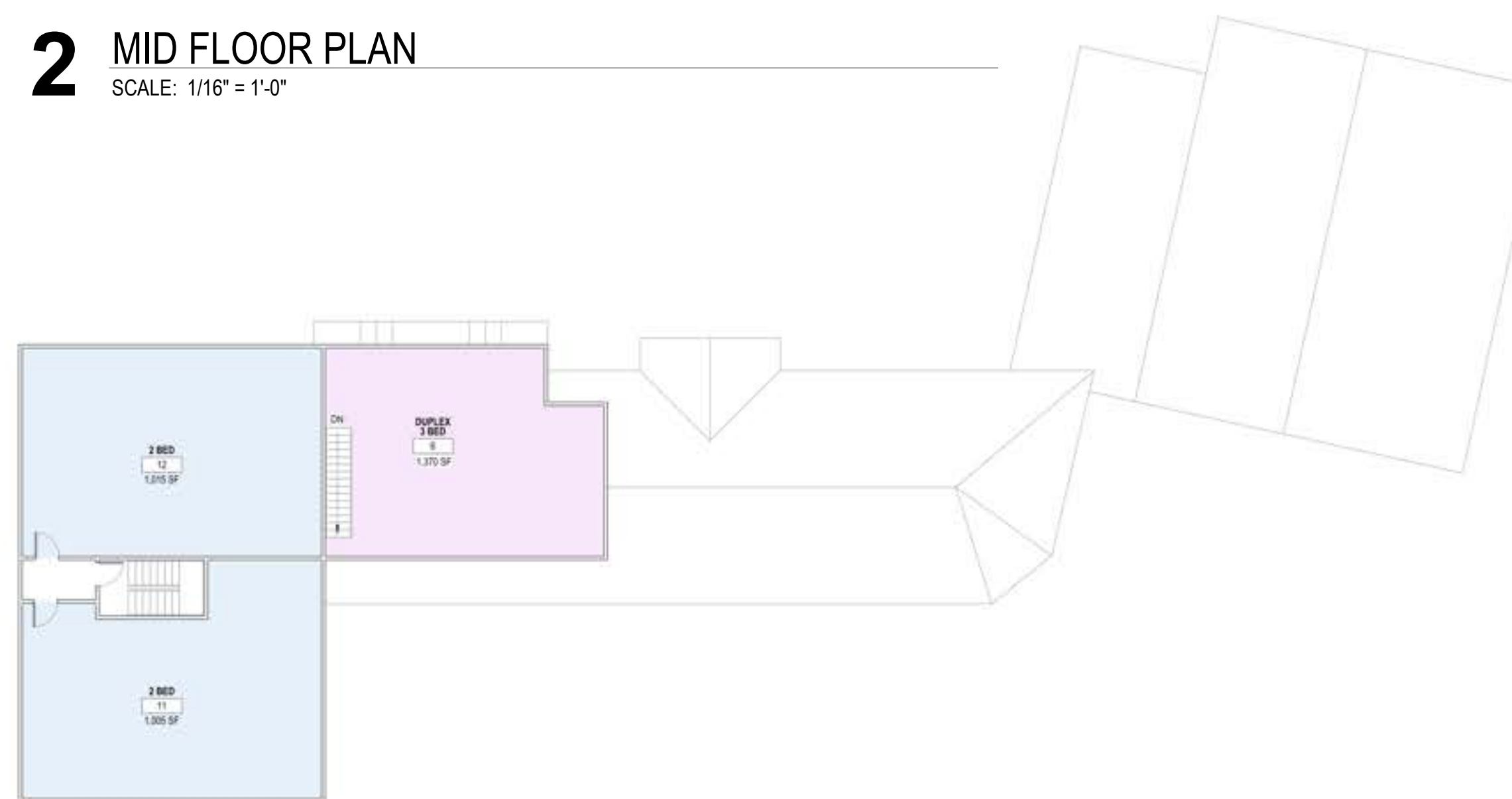
- 2 BED (950 - 1,200 SF)
- 3 BED (1,200 - 1,400 SF)
- STORAGE



**3 SECOND FLOOR PLAN**  
 SCALE: 1/16" = 1'-0"



**2 MID FLOOR PLAN**  
 SCALE: 1/16" = 1'-0"



**1 GROUND FLOOR PLAN**  
 SCALE: 1/16" = 1'-0"

GRAPHIC SCALE: 1 INCH = 20 FEET





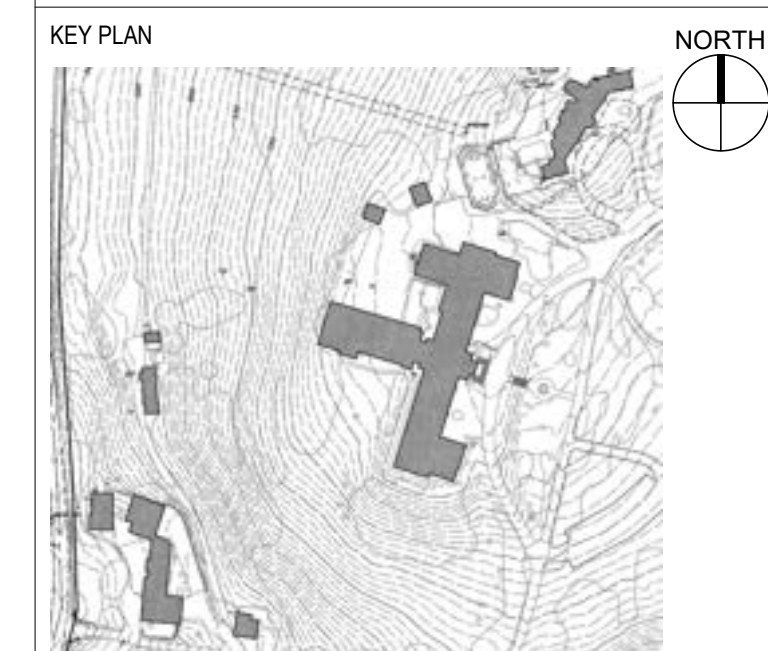
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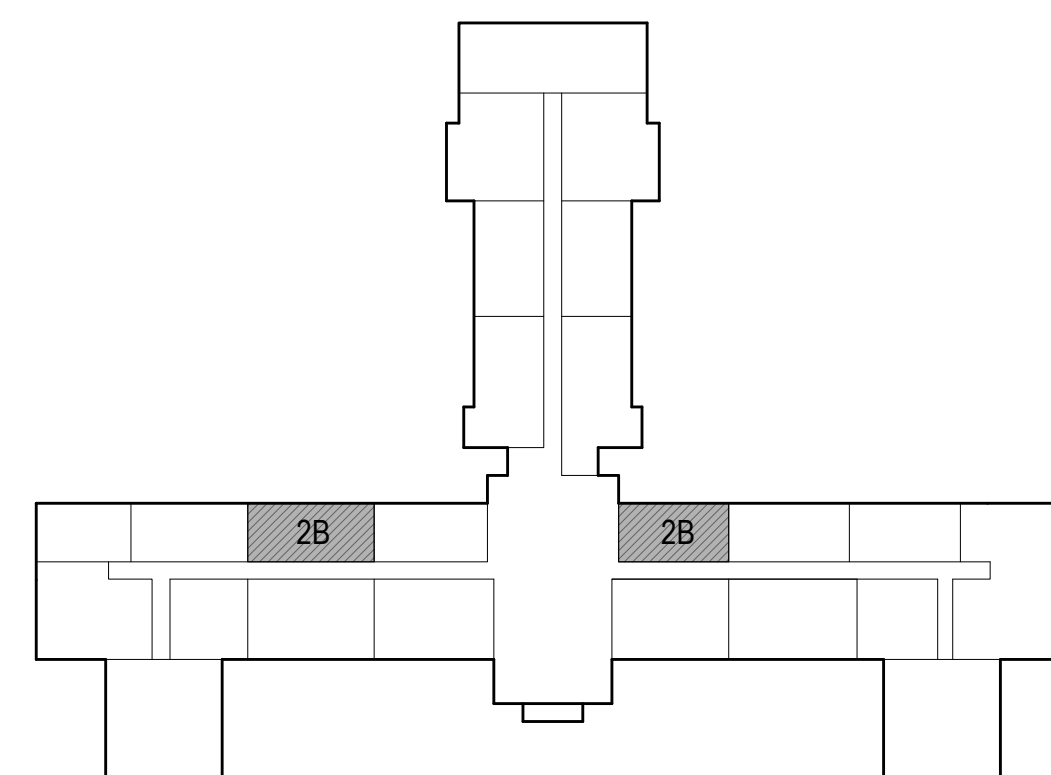
**COAH - AFFORDABLE UNITS**

<small>SCALE:</small>	<small>DATE:</small>
1/64" = 1'-0"	03/02/23
<small>QC BY:</small>	<small>QA BY:</small>
-	-
<small>PROJECT NO.</small>	20178

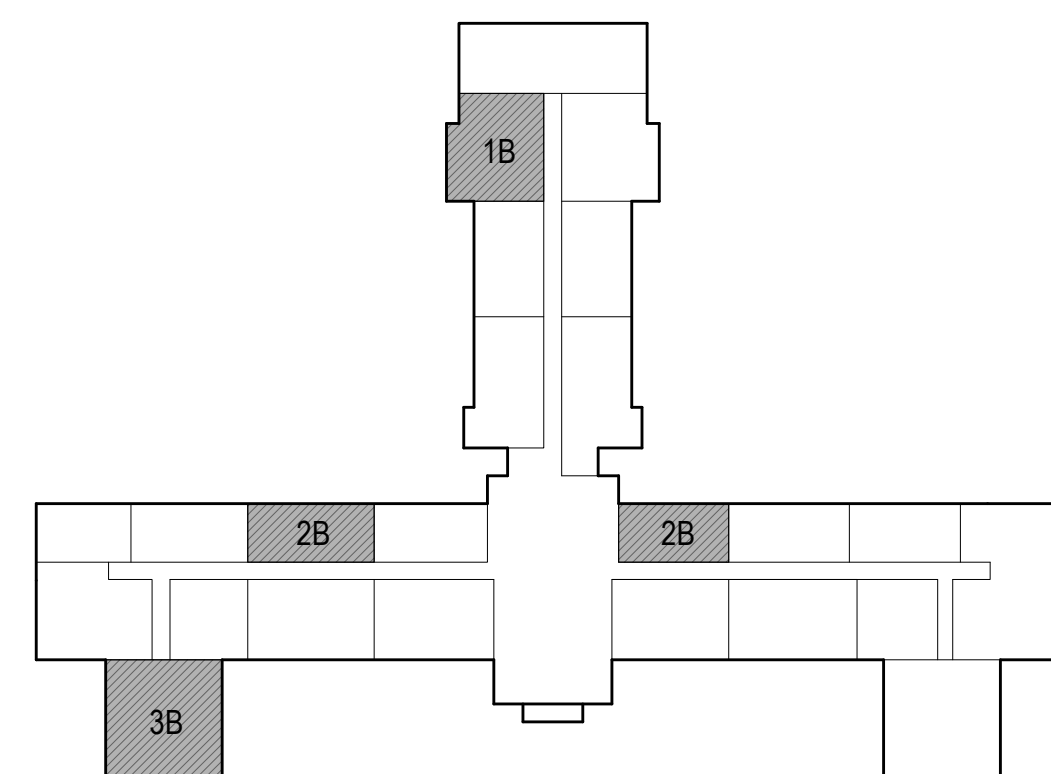
DRAWING NO.

**A-09**

**BUILDING C**

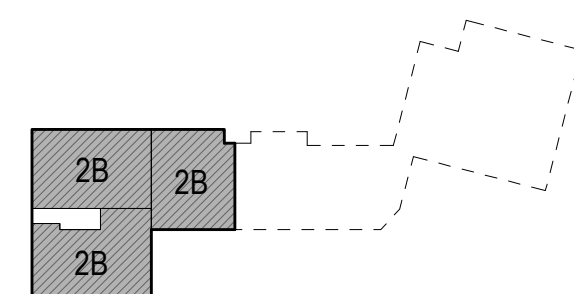


LEVEL 2

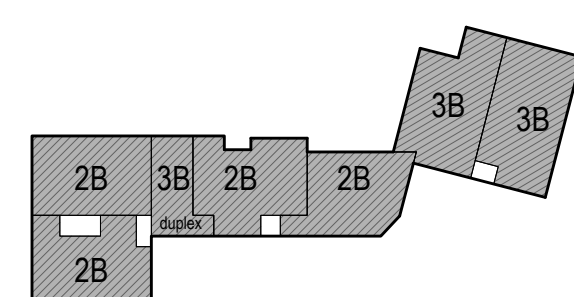


LEVEL 3

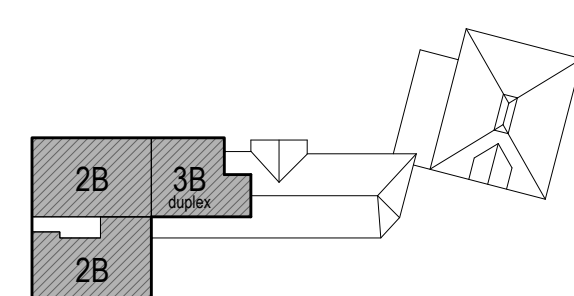
**BUILDING H, I**



LEVEL 1



LEVEL 2

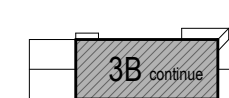


LEVEL 3

**BUILDING F**

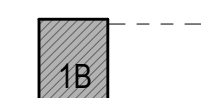


LEVEL 1

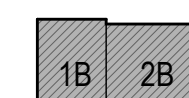


LEVEL 2

**BUILDING J**

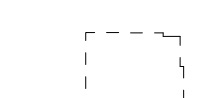


LEVEL 1



LEVEL 2

**BUILDING K**



LEVEL 1



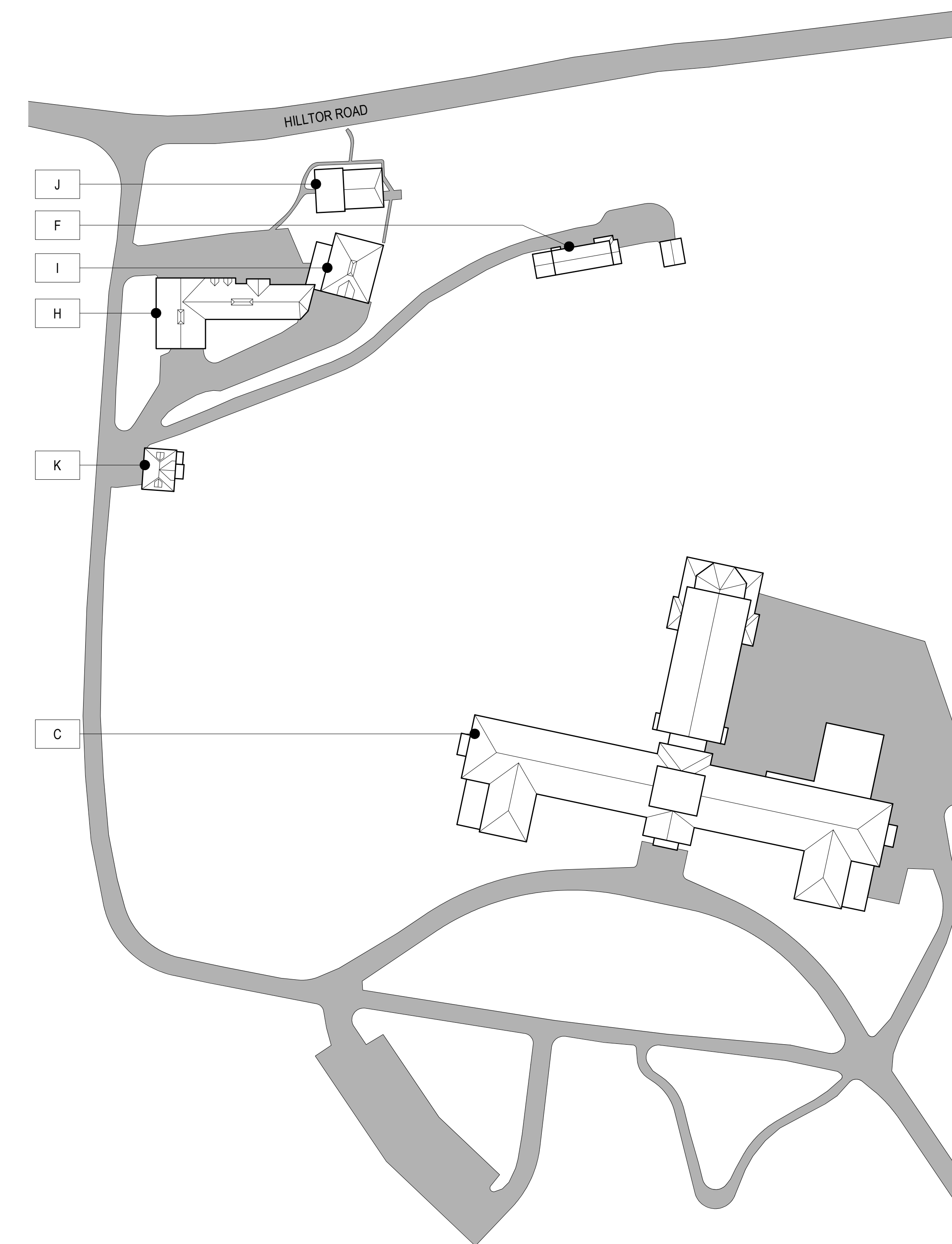
LEVEL 2

**UNIT COUNT / AFFORDABLE UNIT COUNT**

	1 BED	2 BED	3 BED	TOTAL
BLDG. C	9 (1 AFFORD.)	75 (4 AFFORD.)	10 (1 AFFORD.)	94 (6 AFFORD.)
BLDG. F	-	-	1 (1 AFFORD.)	1 (1 AFFORD.)
BLDG. H, I	-	9 (9 AFFORD.)	3 (3 AFFORD.)	12 (12 AFFORD.)
BLDG. J	2 (2 AFFORD.)	1 (1 AFFORD.)	-	3 (3 AFFORD.)
BLDG. K	1 (1 AFFORD.)	-	-	1 (1 AFFORD.)
<b>SUBTOTAL</b>	<b>12 (4 AFFORD.)</b>	<b>85 (14 AFFORD.)</b>	<b>14 (5 AFFORD.)</b>	<b>111 (23 AFFORD.)</b>

**TOTAL** 111 UNITS, INCLUDING 23 AFFORDABLE UNITS

\*111 x 20% = 22.2 (23 UNITS)



**2 FLOOR PLAN DIAGRAM - AFFORDABLE UNIT**  
SCALE: 1/64" = 1'-0"

**1 PROPOSED SITE PLAN**  
SCALE: 1/64" = 1'-0"