

CERTIFICATIONS/APPROVALS

MUNICIPALITY
THIS PLAN IS HEREBY APPROVED BY THE ZONING BOARD OF ADJUSTMENT OF THE BOROUGH OF MENDHAM, MORRIS COUNTY

DATE _____ BOARD CHAIRMAN

DATE _____ BOARD SECRETARY

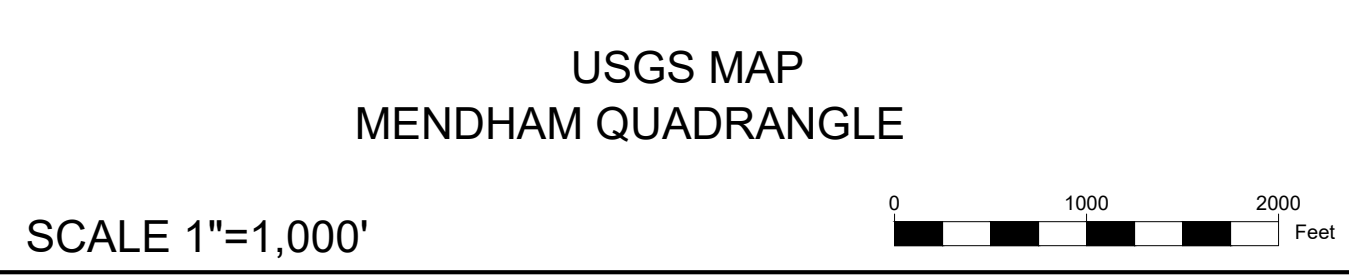
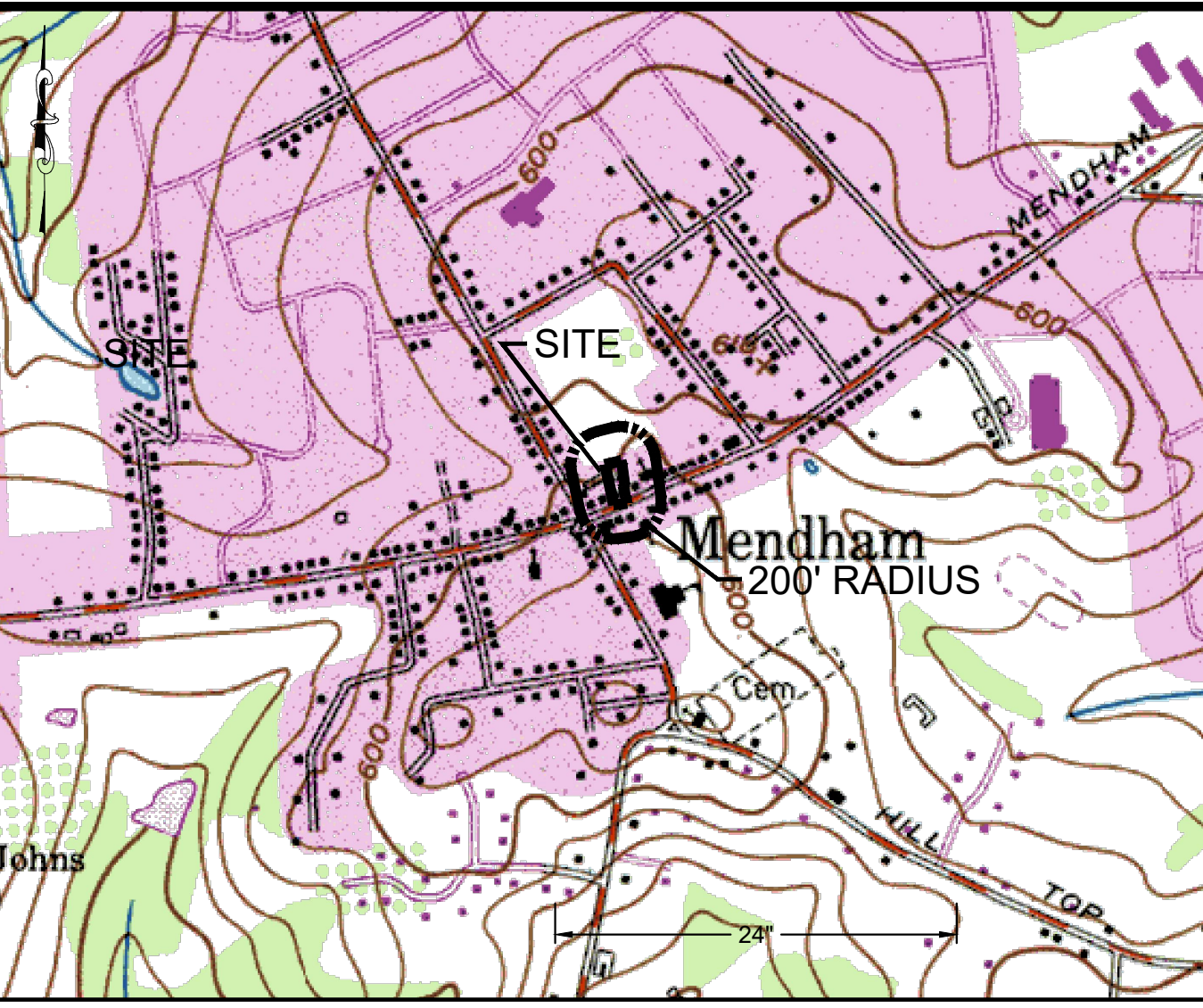
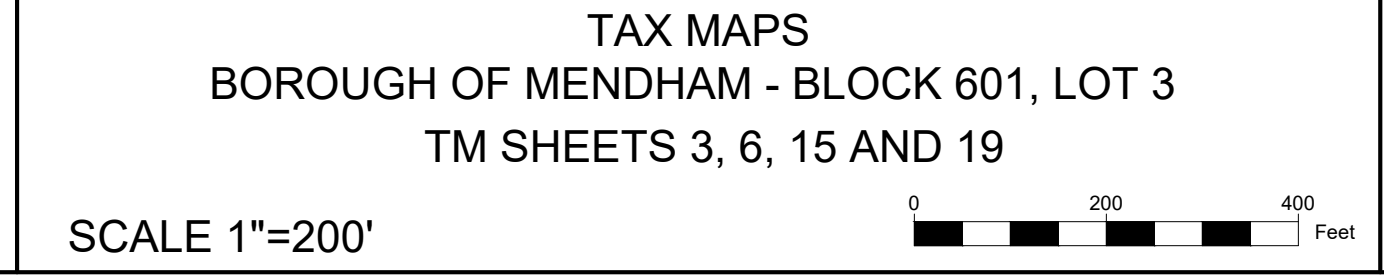
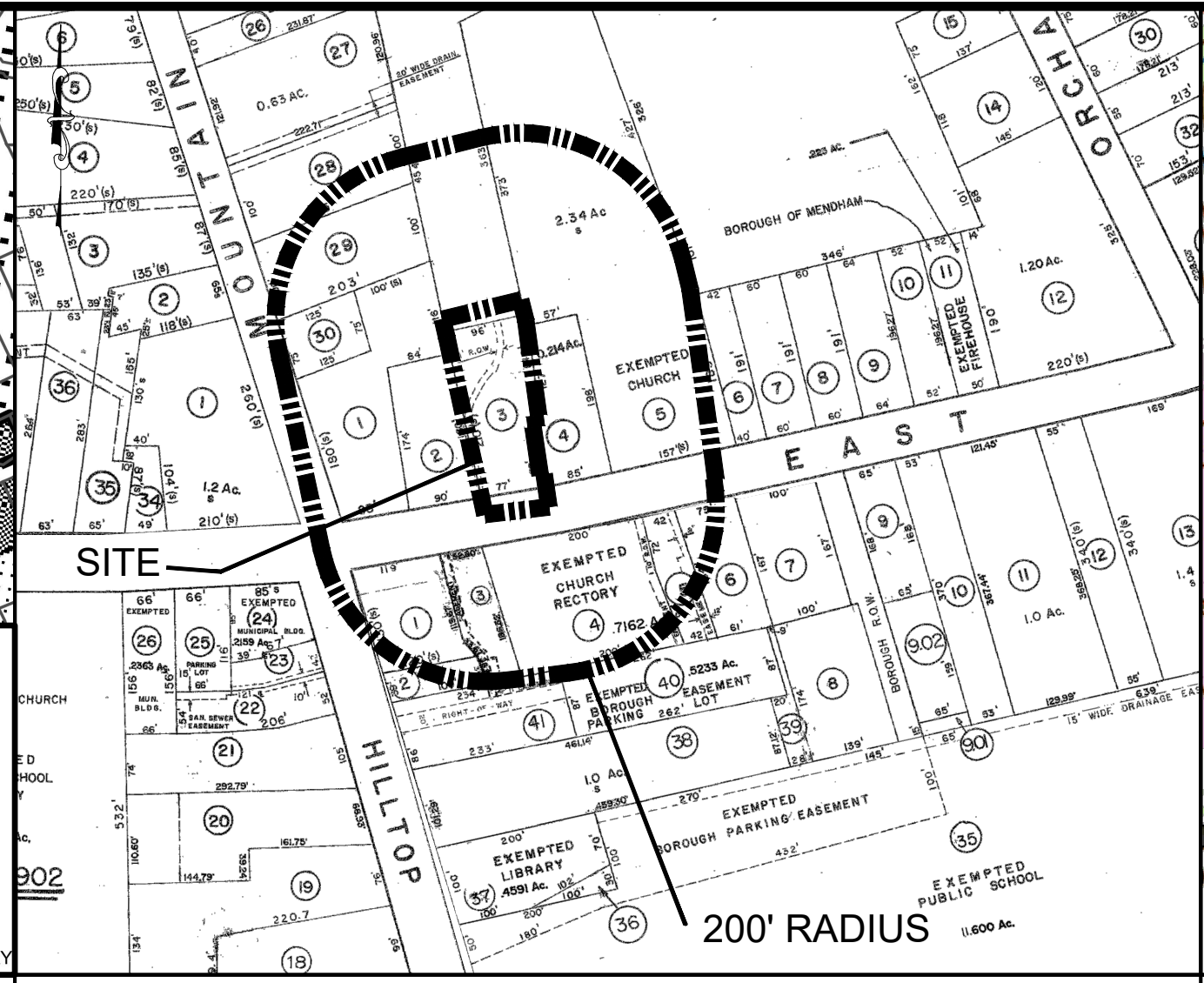
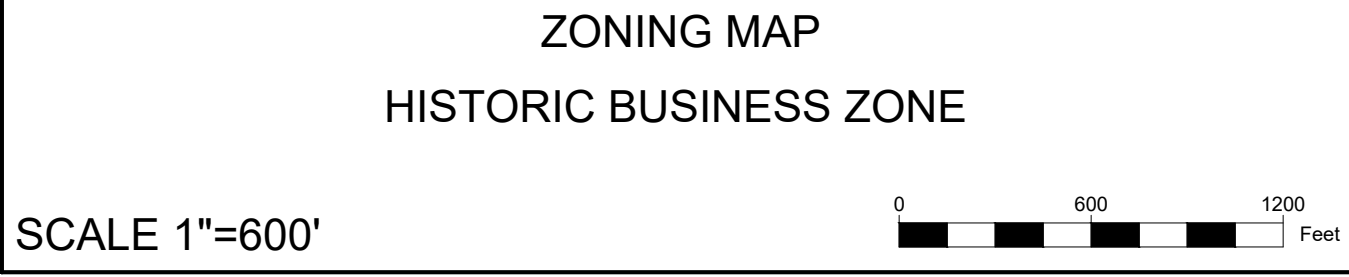
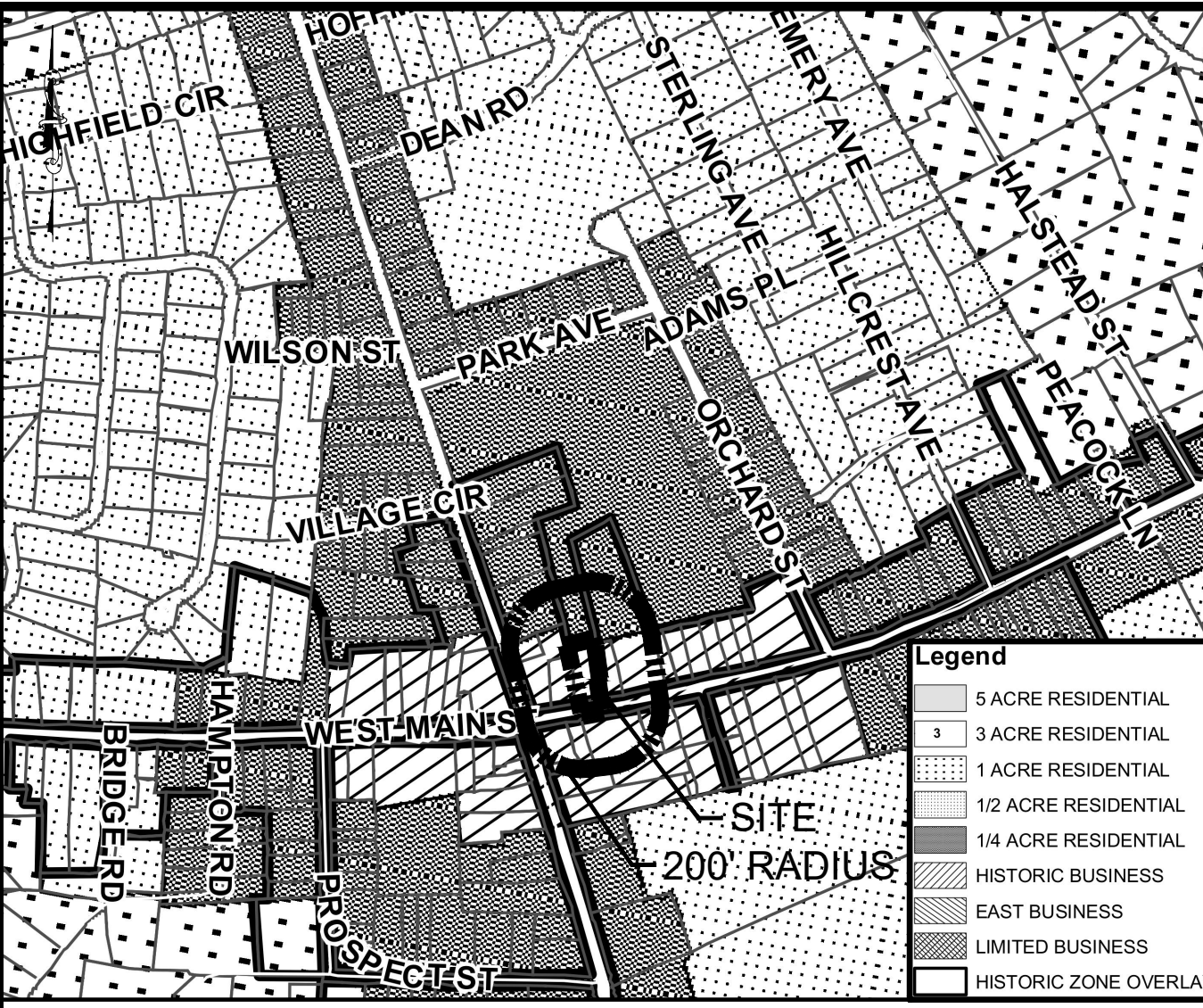
DATE _____ BOROUGH ENGINEER

I HEREBY CERTIFY THAT I AM THE PRESENT OWNER OF THE REFERENCED PROPERTY AND THAT I CONSENT TO THE FILING OF THIS MAJOR SITE PLAN WITH THE ZONING BOARD OF ADJUSTMENT OF THE BOROUGH OF MENDHAM.

DATE _____ JAY GRANT

I HEREBY CERTIFY THAT THE DETAILS OF THIS PLAN SET ARE ACCURATE AND COMPLIANT WITH RSIS.

06/23/2020
DATE _____ JOHN HANSEN, N.J.P.E. NO. 24GE04194500



BLOCK	LOT	PROPERTY OWNER	ADDRESS
1501	1	ONE MAIN STREET LLC	7 BUDDY LANE MORRISTOWN, NJ 07960
1501	2	JAS MENDHAM LLC	4 HILLTOP ROAD MENDHAM, NJ 07945
1501	3	POGGI, JARROD	26 COLD HILL ROAD MENDHAM, NJ 07945
1501	4	ST MARKS, RECTOR WARDENS & VESTRY	7 EAST MAIN STREET MENDHAM, NJ 07945
1501	5	WEILARD, RALPH R SR TRUS / RALPH R JR	59 BUOY STREET JAMESTOWN, RI 02835
1501	6	MOORMANN, RICHARD	15 EAST MAIN STREET MENDHAM, NJ 07945
601	1	2 MAIN STREET LLC	7 BUDDY LANE MORRISTOWN, NJ 07960
601	16	BOROUGH OF MENDHAM	2 WEST MAIN STREET MENDHAM, NJ 07945
601	2	4 E MAIN MENDHAM LLC	P.O. BOX 110 GLADSTONE, NJ 07934
601	28	BETZ, BARBARA C	7 MOUNTAIN AVENUE MENDHAM, NJ 07945
601	29	SWIENCKI, STEPHEN & JUDITH S	5 MOUNTAIN AVENUE MENDHAM, NJ 07945
601	3	SIX6 MAIN STREET MENDHAM LLC	6 EAST MAIN STREET MENDHAM, NJ 07945
601	30	DERRICK RICHARD E TRUS / CAROL H TRUS	21 BRIDGE AVENUE BAY HEAD, NJ 08472
601	4	TURPIN, MARGERY D TRUS	P.O. BOX 100 FAR HILLS, NJ 07931
601	5	MENDHAM METHODIST CHURCH	10 EAST MAIN STREET MENDHAM, NJ 07945
			P.O. BOX 900 MORRISTOWN NJ 07963-0900

GENERAL NOTES:

- OWNER/APPLICANT: 6 MAIN STREET MENDHAM, LLC
C/O JAY GRANT
7 BUDDY LANE MORRISTOWN, NJ 07960
PHONE: (973) 543 - 2021
- BOUNDARY INFORMATION SHOWN HEREON WAS TAKEN FROM A MAP ENTITLED "MAP OF SURVEY, BLOCK 601, LOT 3, BOROUGH OF MENDHAM, MORRIS COUNTY, NEW JERSEY", PREPARED BY TEMPLIN ENGINEERING ASSOCIATES, DATED NOVEMBER 09, 2018.
- TOPOGRAPHIC INFORMATION SHOWN HEREON WAS TAKEN FROM A MAP ENTITLED "TOPOGRAPHIC SURVEY", PREPARED BY ENGINEERING & LAND PLANNING ASSOCIATES, INC., DATED 09/03/19.
- THESE PLANS ARE NOT TO BE USED AS SURVEYS. REFER TO REFERENCE SOURCES FOR BOUNDARY AND TOPOGRAPHIC INFORMATION (NOTE # 2 ABOVE).
- VERTICAL CONTROL FOR THIS PROJECT IS BASED ON AN ASSUMED DATUM AND RELATIVE TO THIS PROJECT ONLY.
- THE SUBJECT PARCEL, BLOCK 601, LOT 3, MENDHAM BOROUGH CONSISTS OF 21,108 S.F. (0.48 ACRES).
- THIS PROJECT IS NOT A MAJOR STORMWATER DEVELOPMENT PER N.J.A.C. 7:8.
- SEE ENGINEERING DETAIL SHEETS FOR ALL SITE DETAILS AND SUPPORTING NOTES.
- THE LOCATION, TYPE, LINE, SIZE, DEPTH, ETC. OF ALL EXISTING UTILITIES, ARE APPROXIMATE. LOCATION OF SERVICE LATERALS MUST BE VERIFIED IN THE FIELD BY THE CONTRACTOR AND AT HIS OWN EXPENSE PRIOR TO THE START OF CONSTRUCTION.
- NOTICE TO BE SERVED FROM CERTIFIED LIST OBTAINED FROM MENDHAM BOROUGH.

PRELIMINARY AND FINAL MAJOR SITE PLAN

6 EAST MAIN STREET

BLOCK 601, LOT 3 MENDHAM BOROUGH
MORRIS COUNTY, NEW JERSEY

PREPARED BY
ENGINEERING & LAND PLANNING ASSOCIATES, INC.
140 WEST MAIN STREET, HIGH BRIDGE, NEW JERSEY 08829

ITEM	REQUIRED	EXISTING	PROPOSED	VARIANCE REQUESTED
HISTORIC BUSINESS ZONE *				
ZONING DISTRICT				
MAX. FAMILIES PER LOT	2	0	7	V
MIN. LOT AREA (AC.)	0.50 AC.	0.48 AC.	0.42 AC. (5)	V (ENC)
MIN. LOT WIDTH (FT)	100 FT	75.8 FT	75.8 FT	ENC
BUILDING SETBACKS FOR PRINCIPAL STRUCTURE **				
FRONT YARD SETBACK (FT) (2)	20 FT	24.04 FT (1)	24.04 FT	-
SIDE YARD SETBACK (FT) (3)	10 FT	2.51 FT	0.77 FT	V
REAR YARD SETBACK (FT) (4)	20 FT	91.01 FT	22.95 FT	-
BUILDING SETBACKS FOR ACCESSORY STRUCTURE **				
FRONT YARD SETBACK (FT) (2)	20 FT	> 20 FT	N/A	-
SIDE YARD SETBACK (FT) (3)	15 FT	0.77 FT	N/A	-
REAR YARD SETBACK (FT) (4)	15 FT	22.95 FT	N/A	-
MAX. LOT COVERAGE	65 %	76.7 %	84.7 %	V
MAX. BUILDING HEIGHT (FT)	40 FT	< 40 FT	< 40 FT	-

(V) INDICATES THAT A VARIANCE IS REQUIRED
(-) INDICATES NO VARIANCE IS REQUIRED
(ENC) INDICATES AN EXISTING NON-CONFORMING CONDITION
* d(1) VARIANCE REQUIRED FOR PROPOSED USE.
d(3) VARIANCE REQUIRED. (PROJECT DOES NOT MEET ALL CONDITIONS OF MULTIFAMILY CONDITIONAL USE)
d(5) VARIANCE REQUIRED FOR EXCEEDING MAXIMUM OF 2 FAMILIES PER LOT.
**EXISTING BARN AND GARAGE BUILDINGS ARE CURRENTLY ACCESSORY STRUCTURES. THE PROJECT PROPOSES TO CONVERT BARN AND GARAGE INTO PRINCIPAL STRUCTURES FOR RESIDENTIAL USE.
(1) AS MEASURED TO ROAD EASEMENT.
(2) FRONT YARD IS DEFINED AS THE SPACE EXTENDING THE FULL WIDTH OF A LOT BETWEEN THE SIDELINE OF THE TRAVELED WAY OF ANY STREET AND THE NEAREST PART OF THE PRINCIPAL BUILDING ON THE LOT.
(3) SIDE YARD IS DEFINED AS THE SPACE FROM THE REAR YARD TO THE FRONT YARD BETWEEN EITHER SIDE LOT LINE AND THE NEAREST PART OF ANY BUILDING ON THE LOT.
(4) REAR YARD IS DEFINED AS THE SPACE EXTENDING THE FULL WIDTH OF A LOT BETWEEN THE REAR LOT LINE AND THE NEAREST PART OF ANY BUILDING ON THE LOT.
(5) LOT AREA EXCLUDES PROPOSED R.O.W. DEDICATION AND ROAD EASEMENT TO MORRIS COUNTY.

VARIANCES
125 - ATTACHMENT 1 : MAXIMUM FAMILIES PER LOT IS 2. (d(5))
VARIANCE REQUESTED FOR 7 RESIDENTIAL UNITS ON SUBJECT LOT.
125 - ATTACHMENT 1: MINIMUM REQUIRED LOT AREA IS 0.50 ACRES.
EXISTING NON-CONFORMING CONDITION. VARIANCE REQUESTED DUE TO RIGHT OF WAY DEDICATION AND ROAD EASEMENT TO MORRIS COUNTY. EXISTING LOT AREA IS 0.48 ACRES. PROPOSED LOT AREA IS 0.42 ACRES.
125 - ATTACHMENT 1: MAXIMUM PERMITTED LOT COVERAGE IS 65%.
EXISTING LOT COVERAGE IS 76.7%. PROPOSED LOT COVERAGE IS 84.7%.
125 - ATTACHMENT 2: MINIMUM REQUIRED SIDE YARD SETBACK FOR PRINCIPAL STRUCTURE IS 20 FEET.
THE EXISTING SIDE YARD SETBACK IS 2.51 FEET. THE PROPOSED SIDE YARD SETBACK IS 0.77 FEET DUE TO ACCESSORY STRUCTURES BEING CONVERTED TO PRINCIPAL STRUCTURES.

195 - 45A: MINIMUM OFF-STREET PARKING STALLS REQUIRED IS 39 STALLS. 4 PARKING STALLS ARE PROPOSED.
VARIANCE REQUESTED FOR PROPOSED DEFICIT OF 35 PARKING STALLS.
LOT 16 IS CURRENTLY A PUBLIC PARKING LOT CONTAINING 56 EXISTING PARKING STALLS. THE BOROUGH COUNCIL HAS AGREED TO PROVIDE A LICENSE FOR 10 OVERNIGHT PARKING PERMITS FOR THE 7 RESIDENTS APPROVED IN CONJUNCTION WITH 6 EAST MAIN STREET (RESOLUTION #095-2020).
215 - 8D - 1(c): MAXIMUM HEIGHT OF FREESTANDING SIGN SHALL NOT EXCEED 10 FEET ABOVE EXISTING GRADE.
VARIANCE REQUESTED FOR EXISTING FREESTANDING SIGN BEING APPROXIMATELY 12 FEET ABOVE EXISTING GRADE. THIS IS AN EXISTING NON-CONFORMING CONDITION. EXISTING SIGN TO REMAIN ON-SITE AND RELOCATED AS SHOWN ON THESE PLANS. NO CHANGES TO THE SIGN HEIGHT ARE PROPOSED.

SHEET No.	TITLE
1.	COVER SHEET
2.	LEGEND AND NOTES
3.	EXISTING CONDITIONS PLAN
4.	DEMOLITION PLAN
5.	SITE PLAN
6.	SIGNAGE PLAN
7.	GRADING & DRAINAGE PLAN
8.	UTILITY PLAN
9.	LIGHTING & LANDSCAPING PLAN
10.	SESC PLAN
11.	SESC NOTES & DETAILS
12.	SESC DETAILS
13.	CONSTRUCTION DETAILS
14.	CONSTRUCTION DETAILS

DESIGN WAIVER
195 - 57.5G: LIGHTING LEVELS AT ALL PROPERTY LINES SHALL NOT EXCEED 0.1 FOOTCANDLE EXCEPT WHERE DRIVEWAYS MEET A PUBLIC STREET.
WAIVER REQUESTED FOR LIGHTING LEVELS AT PROPERTY LINES TO EXCEED 0.1 FOOT CANDLE DUE TO THE CLOSE PROXIMITY OF THE RESIDENTIAL UNITS TO THE PROPERTY LINES.

ITEM	SIGNAGE SUMMARY TABLE	
	EXISTING SIGNS LOT 3	PROPOSED SIGNS LOT 3
TRAFFIC /PARKING SIGNS	8	7
FREESTANDING SITE ID SIGN	1	1
BUILDING MOUNTED SIGNS	5	8
TOTAL	14	16

PROPERTY OWNER	ADDRESS
JCP&L, C/O FE SERV. TAX DEPT.	P.O. BOX 1911 MORRISTOWN NJ 07962-1911
AMERICAN WATER SSG/GENERAL TAX DEPT.	P.O. BOX 5627 CHERRY HILL, NJ 08034
VERIZON, C/O DUFF & PHELPS	P.O. BOX 2748 ADDISON, TX 75001
MENDHAM BOROUGH SEWER UTILITY	35 IRONIA ROAD MENDHAM, NJ 07945
AT&T	900 ROUTE 202/206 NORTH BEDMINSTER, NJ 07921
COMCAST	300 RAHWAY AVENUE UNION, NJ 07083
PUBLIC SERVICE ELECTRIC & GAS CO.	80 PARK PLAZA NEWARK, NJ 07102
CABLEVISION ATTN: KATHY BAKER	683 ROUTE 10 RANDOLPH, NJ 07869
MORRIS COUNTY PLANNING BOARD	P.O. BOX 900 MORRISTOWN NJ 07963-0900

PARKING REQUIRED:	STALLS REQ.:
PER ORDINANCE SECTION 195 - 45A: 4,026 SF RETAIL (6 PARKING STALLS REQ. / 1,000 SF)	25 STALLS
PER RSIS N.J.A.C. 5:21 - 4.14 (5) 2-BR APARTMENT UNITS (2 STALLS REQ. / UNIT)	10 STALLS
(2) 1-BR APARTMENT UNITS (1.8 STALLS REQ. / UNIT)	4 STALLS
TOTAL STALLS REQUIRED:	39 STALLS
ADA STALLS REQUIRED:	
PER 28 CFR PART 36 SECTION 4.1.2: 1 - 25 STALLS TOTAL (LOT 3)	1 ADA STALL
PARKING PROVIDED ON-SITE:	
(3) 9' X 18' STALL PROPOSED	
(1) 8' X 8' ADA STALL PROPOSED (W/ VAN 8' ACCESSIBILITY)	

LOADING REQUIRED:
PER ORDINANCE SECTION 195 - 46A. TABLE 5: 5,000 S.F. RETAIL REQUIRES (1) 12' X 35' LOADING BERTH
LOADING PROVIDED:
(1) 12' X 35' LOADING BERTH

NOTES:
1. THIS SET OF PLANS HAS BEEN PREPARED FOR THE PURPOSES OF MUNICIPAL AND AGENCY APPROVAL. THIS SET OF PLANS SHALL NOT BE UTILIZED FOR CONSTRUCTION DOCUMENTS UNTIL ALL CONDITIONS OF APPROVAL HAVE BEEN SATISFIED AND EACH DRAWING HAS BEEN MARKED "ISSUED FOR CONSTRUCTION."
COPYRIGHT 2020 ENGINEERING & LAND PLANNING ASSOC., INC. ALL RIGHTS RESERVED. THE COPY OR REUSE OF THIS DOCUMENT OR ANY PORTION THEREOF IS PROHIBITED WITHOUT THE WRITTEN CONSENT OF ENGINEERING & LAND PLANNING ASSOC., INC. THIS DRAWING IS THE SOLE PROPERTY OF ENGINEERING & LAND PLANNING ASSOC., INC. AND HAS BEEN PREPARED SPECIFICALLY FOR USE BY THE OWNER OF THIS PROJECT AT THIS SITE. IT IS NOT TO BE USED BY ANY OTHER PERSON OR FOR ANY OTHER PURPOSE OR LOCATION WITHOUT THE WRITTEN CONSENT OF ENGINEERING & LAND PLANNING ASSOC., INC.

140 WEST MAIN STREET HIGH BRIDGE, NJ 08829
PH. 908-238-0544 FAX. 908-238-9572
A PROFESSIONAL ASSOCIATION
CERTIFICATE OF AUTHORIZATION NO.: 24GA28021500 EXP. 8/31/2020

NO.	REVISION	BY	DATE
3	REV. PER BOROUGH COMMENTS	EM	6/23/2020
2	REV. PER BOROUGH COMMENTS	EM	5/19/2020
1	REV. PER ENGINEER CERTIFICATION	EM	10/22/19

6/23/2020
DATE _____ JOHN HANSEN
PROFESSIONAL ENGINEER
N.J. P.E. NO. 24GE04194500

PROJECT:
**6 EAST MAIN STREET
PRELIMINARY AND FINAL
MAJOR SITE PLAN
BLOCK 601, LOT 3
MENDHAM BOROUGH**

MORRIS COUNTY NEW JERSEY

TITLE:
COVER SHEET

JOB NO.: 19135	DRAWING NO.:
SCALE: N.T.S.	1
DESIGNED: EM	14
CHECKED: JH	
FILENAME: 01_COVER.DWG	
DATE: 09/09/2019	

STANDARD LEGEND

EXISTING		PROPOSED	
	RIGHT-OF-WAY / PROPERTY		
	SETBACK LINE		
	CURB		
	DEPRESSED CURB		
	UNDERGROUND ELEC.		
	UNDERGROUND GAS		
	UNDERGROUND WATER		
	UNDERGROUND TELEPHONE		
	OVERHEAD WIRES		
	WOOD FENCE		
	CHAIN LINK FENCE		
	UNDERGROUND PIPE		
	TREE LINE		
	CONTOUR		
	BOLLARD		
	P.S.E & G. MANHOLE		
	SEWER MANHOLE		
	WATER MANHOLE		
	MANHOLE		
	BELL MANHOLE		
	WATER METER		
	ELEC. METER		
	WATER VALVE		
	GAS VALVE		
	VALVE		
	SAN. SEWER VENT		
	CLEAN-OUT		
	FIRE HYD.		
	"A" SEWER INLET		
	"B" SEWER INLET		
	D.O.T. BOX		
	TRAFF. LIGHT STANDARD		
	TRAFF. SIGN		
	UTILITY POLE		
	OVERHEAD LIGHT		
	ROOF DRAIN		
	HEADWALL		
	HEADWALL AND APRON		
	DITCH		

STANDARD ABBREVIATIONS

AH., BK.	AHEAD, BACK	J.B.	JUNCTION BOX	RCP, R.C.P.	REINFORCED CONCRETE PIPE
\, B.L.	BASELINE	LT., RT.	LEFT, RIGHT	RMC, R.M.C.	RIGID NON-METALLIC CONDUIT
B.M.	BENCH MARK	L.O.P.	LIMIT OF PAVEMENT (PAVING)	RNMC, R.N.M.C.	RIGHT OF WAY
B.T.	BELL TELEPHONE	L.O.M.	LIMIT OF MILLING	R.R.	RAILROAD
BIT., BITUM.	BITUMINOUS	M.B.	MAILBOX	RTE., RT.	ROUTE
BLDG.	BUILDING	M.P.	MILE POST	SAN.	SANITARY
. C.L.	CENTERLINE	MAX.	MAXIMUM	SDWK.	SIDEWALK
C.I.P.	CAST IRON PIPE	MIN.	MINIMUM	S.H.D.	STATE HIGHWAY DEPARTMENT
D.I.P.	DUCTILE IRON PIPE	NO.	NUMBER	SHLD.	SHOULDER
CONC.	CONCRETE	N.T.S.	NOT TO SCALE	. S.L.	SURVEY LINE
CULV.	CULVERT	PAVT.	PAVEMENT	S.O.D.	SUBBASE OUTLET DRAIN
D, DIA.	DIAMETER	PERF.	PERFORATED	STY.	STORY
D.C.	DROP CURB	P.G.L.	PROFILE GRADE LINE	T	TANGENT
DE	DITCH EXCAVATION	J, P.L.	PROPERTY LINE, PROFILE LINE	TBA	TO BE ABANDONED
DEP., DP	DEPRESSED CURB	PK	PARKER KAYLON MASONRY NAIL	TBR	TO BE REMOVED
DH	DRILL HOLE	POC, P.O.C.	POINT ON CURVE	TEL.	TELEPHONE
DWY	DRIVEWAY	POL, P.O.L.	POINT ON LINE	TEMP.	TEMPORARY
E.B., W.B.,	EASTBOUND, WESTBOUND	POT, P.O.T.	POINT ON TANGENT	THK., TH.	THICK
N.B., S.B.	NORTHBOUND, SOUTHBOUND	PRC, P.R.C.	POINT OF REVERSE CURVE	TYP.	TYPICAL
EL., ELEV.	ELEVATION	PROP.	PROPOSED	U.D.	UNDERDRAIN
EXIST.	EXISTING	PT, P.T.	POINT OF TANGENCY	UP, U.P.	UTILITY POLE
GR.	GRATE	PVC, P.V.C.	POLYVINYL CHLORIDE PIPE,	VAR.	VARIABLE, VARIES
HT.	HEIGHT	PVI, P.V.I.	POINT OF VERTICAL INTERSECTION	WM	WATER METER
H.W.	HEADWALL	PVT, P.V.T.	POINT OF VERTICAL TANGENCY, PAVEMENT		
HYD.	HYDRANT	R	RADIUS		
INV.	INVERT	RCCP, R.C.C.P.	REINFORCED CONCRETE CULVERT PIPE		
IP	IRON PIN				

GENERAL NOTES:

- APPLICANT:
6 MAIN STREET MENDHAM, LLC
C/O JAY GRANT
7 BUDDY LANE
MORRISTOWN, NJ 07960
PHONE: (973) 543 - 2021
- BOUNDARY INFORMATION SHOWN HEREON WAS TAKEN FROM A MAP ENTITLED "MAP OF SURVEY, BLOCK 601, LOT 3, BOROUGH OF MENDHAM, MORRIS COUNTY, NEW JERSEY", PREPARED BY TEMPLIN ENGINEERING ASSOCIATES, DATED NOVEMBER 09, 2018.

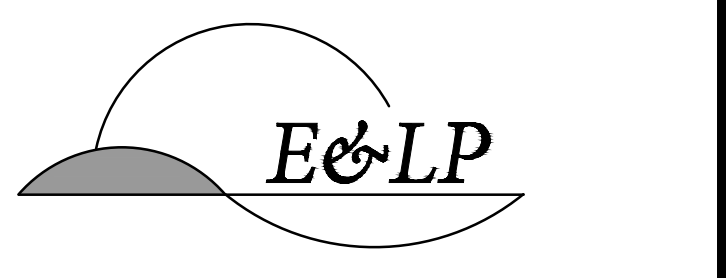
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- THESE PLANS ARE NOT TO BE USED AS SURVEYS. REFER TO REFERENCE SOURCES FOR BOUNDARY AND TOPOGRAPHIC INFORMATION (NOTE # 2 ABOVE).
- THE CONTRACTOR SHALL CONFINE ALL CONSTRUCTION ACTIVITIES TO WITHIN THE LIMIT OF WORK AND/OR THE RIGHT-OF-WAY. ALL DISTURBED AREAS ARE TO BE RESTORED TO EXISTING CONDITIONS OR AS INDICATED IN THE CONTRACT DOCUMENTS.
- THE CONTRACTOR SHALL PROTECT ALL EXISTING STRUCTURES AND IMPROVEMENTS WITHIN THE PROJECT LIMITS AND RIGHT-OF-WAY. THESE FEATURES INCLUDE BUT ARE NOT LIMITED TO TREES, SHRUBS, LANDSCAPING, DRIVEWAYS, MAILBOXES, SIGNAGE, CURBING, SIDEWALKS, UTILITIES, JUNCTION BOXES, POLES, LIGHTING, HYDRANTS, VALVE BOXES, AND STRIPPING.
- THE CONTRACTOR SHALL OBTAIN ALL CONSTRUCTION PERMITS REQUIRED BY LOCAL, COUNTY OR STATE JURISDICTIONS PRIOR TO THE START OF CONSTRUCTION.
- THE CONTRACTOR SHALL NOTIFY THE BOROUGH AND MUNICIPAL ENGINEER'S OFFICE 72 HOURS PRIOR TO THE START OF WORK. THE CONTRACTOR SHALL NOTIFY ALL APPROPRIATE AGENCIES PRIOR TO THE START OF CONSTRUCTION AND AS NECESSARY THROUGH PROJECT COMPLETION.
- HOURS OF WORK SHALL BE RESTRICTED TO ORDINANCE REQUIREMENTS, UNLESS OTHERWISE PERMITTED BY BOROUGH.
- THE CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS BEFORE BEGINNING CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF THE PROJECT SITE, CONTRACTOR PROPERTY, EQUIPMENT, AND WORK.
- STREETS MUST BE CLEAN OF DIRT AND DEBRIS AT THE END OF EACH WORK WEEK.
- ANY DAMAGE TO THE PUBLIC ROAD DURING CONSTRUCTION SHALL BE REPLACED TO THE SATISFACTION OF THE COUNTY PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR, ALONG WITH CONCURRENCE FROM THE OWNER, SHALL DETERMINE HIS/HER LAY-DOWN AND/OR STAGING AREA LOCATIONS.
- TRAFFIC INGRESS AND EGRESS FOR DRIVEWAYS AND PEDESTRIAN ACCESS FACILITIES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
- PROPERTY MARKERS DISTURBED DURING CONSTRUCTION ARE TO BE REPLACED BY A REGISTERED PUBLIC LAND SURVEYOR FOR THE ORIGINAL PROPERTY OWNER AT NO COST TO OWNER.
- THE CONTRACTOR SHALL MAINTAIN UPDATED RED-LINED RECORD DRAWINGS ON SITE FOR INSPECTION BY THE ENGINEER.
- MAINTENANCE AND CLEAN-UP OF THE PROJECT IS REQUIRED FOR THE PROJECT LIMITS AND DURATION, REGARDLESS OF THE CONTRACTOR'S SCOPE OF ACTIVITIES WITHIN THE PROJECT LIMITS.
- THESE DRAWINGS DO NOT INCLUDE THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. THE CONTRACTOR SHALL BE RESPONSIBLE TO INSURE "ON THE JOB" SAFETY FOR HIS EMPLOYEES, EMPLOYEES OF THE OWNER AND ALL OTHER PERSONS HAVING AUTHORIZED OR UNAUTHORIZED ACCESS TO THE WORK AND THE PUBLIC. CONTRACTOR SHALL PERFORM HIS WORK IN A SAFE MANNER AND IN COMPLIANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS.
- THE LOCATION, TYPE, SIZE, DEPTH, ETC. OF ALL EXISTING UTILITIES ARE APPROXIMATE AND MUST BE VERIFIED IN THE FIELD BY THE CONTRACTOR AND AT HIS OWN EXPENSE PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES OPERATING WITHIN THE CONSTRUCTION SITE 3 DAYS PRIOR TO COMMENCEMENT OF ANY EXCAVATION FOR ACCURATE FIELD LOCATIONS. FOR UTILITY MARKOUT, CALL 8-1-1 OR [FOR NJ, 1-800-272-1000]. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE DESIGN ENGINEER OF ALL DEVIATIONS OF SITE CONDITIONS AND/OR IF DEPARTURES FROM THE APPROVED DESIGN BECOME NECESSARY DUE TO SUCH DEVIATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL LINES, ELEVATIONS, AND MEASUREMENTS, EXERCISING PRECAUTION TO VERIFY ALL DIMENSIONS SHOWN ON DRAWING.
- THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE DESIGN ENGINEER SHOULD DEPARTURES FROM THE APPROVED DESIGN BECOME NECESSARY DUE TO CIRCUMSTANCES WHICH ARISE DURING CONSTRUCTION.

- THE OWNER IS RESPONSIBLE FOR MAINTAINING BEST MANAGEMENT PRACTICES FOR STORAGE OF DE-ICING MATERIALS. DE-ICING MATERIALS SHALL BE STORED IN ACCORDANCE WITH ALL LOCAL, STATE, & FEDERAL REGULATIONS.
- ### SITE/CIVIL NOTES:
- THE CONTRACTOR IS RESPONSIBLE FOR ENSURING PROPER DRAINAGE OF THE PROJECT SITE AND ALL UPGRADIENT AREAS TO THE SITE.
 - CATCHBASIN GRATE AND HEADERS SHALL BE RESET AS REQUIRED TO MATCH FINISH GRADE ELEVATIONS UNLESS OTHERWISE NOTED OR DIRECTED BY THE ENGINEER. PLACEMENT GRATES AND HEADERS SHALL BE ALIGNED WITH ADJACENT CURBING AND PAVEMENT.
 - MILLINGS, STONE, SOIL, CONSTRUCTION DEBRIS, AND ALL OTHER RELATED MATERIALS SHALL BECOME THE PROPERTY OF THE CONTRACTOR FOR OFF-SITE DISPOSAL.
 - INADEQUATE INSPECTION OF WORKMANSHIP SHALL NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITY TO PERFORM THE WORK IN ACCORDANCE WITH APPLICABLE PLANS, SPECIFICATIONS AND REGULATIONS AND TO OBTAIN WRITTEN APPROVAL OF MUNICIPAL OFFICIALS, AND ACCEPTANCE OF THE CONSTRUCTION BY THE OWNER.
 - ALL CONCRETE USED FOR SITE WORK SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3,500 PSI. OR AS NOTED ELSE WHERE IN DRAWINGS.
 - THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES INDIVIDUALLY AND SHALL NOTIFY THE UNDERGROUND UTILITIES NOTIFICATION SERVICE AT LEAST 72 HOURS PRIOR TO COMMENCEMENT OF ANY EXCAVATION BY CALLING [1-800-272-1000 IN NJ].
 - SUBBASE MATERIAL FOR SIDEWALKS, CURB, OR ASPHALT SHALL BE FREE OF ORGANIC AND OTHER UNSUITABLE MATERIALS. SHOULD SUBBASE BE DEEMED UNSUITABLE, SUBBASE IS TO BE REMOVED AND FILLED WITH APPROVED FILL MATERIAL COMPACTED TO 95% OPTIMUM DENSITY (AS DETERMINED BY MODIFIED PROCTOR METHOD).
 - ALL CONTRACTORS WORKING ON THIS PROJECT SHALL COMPLY WITH THE REQUIREMENTS OF [29 CFR 1926 OSHA CONSTRUCTION INDUSTRY REGULATIONS & STANDARDS].
 - ALL CONTRACTORS WORKING ON THIS PROJECT SHALL BE RESPONSIBLE FOR ENSURING THAT ALL CONSTRUCTION ACTIVITIES RELATED TO THIS PROJECT ARE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE OSHA (OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION) STANDARDS.
 - NO EXCAVATION OR FILL SHALL BE MADE WITH A FACE STEEPER THAN THREE (3) HORIZONTAL TO ONE (1) VERTICAL (3:1) UNLESS A RETAINING WALL, CONSTRUCTED IN ACCORDANCE WITH APPROVED STANDARDS IS PROVIDED TO SUPPORT THE FACE OF SLOPE OF SAID EXCAVATION OR FILL.
 - BURYING OF TREES, STUMPS, OR CONSTRUCTION MATERIAL IS PROHIBITED. TREES AND STUMPS MAY BE CHIPPED OR GROUND AND SPREAD ON THE SITE.
 - SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE IN PLACE AND FUNCTIONING PRIOR TO ANY OTHER DISTURBANCE ON THE SITE.
 - EXISTING UTILITIES SHOWN ON THESE PLANS HAVE BEEN DEVELOPED FROM UTILITY COMPANY AS-BUILTS AND OR FIELD SURVEY AT THE SITE. COMPLETENESS AND/OR ACCURACY CANNOT BE GUARANTEED. ALL CONTRACTORS WORKING ON THIS PROJECT SHALL COMPLY WITH THE REQUIREMENTS OF (NEW JERSEY ONE CALL) REGARDING NOTIFICATION OF UNDERGROUND UTILITY USERS PRIOR TO EXCAVATION.

NOTES:

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140 WEST MAIN STREET HIGH BRIDGE, NJ 08829
PH. 908-238-0544 FAX. 908-238-9572
A PROFESSIONAL ASSOCIATION
CERTIFICATE OF AUTHORIZATION NO.: 24GA28021500 EXP. 8/31/2020

NO.	REVISION	BY	DATE
3	REV. PER BOROUGH COMMENTS	EM	6/23/2020
2	REV. PER BOROUGH COMMENTS	EM	5/19/2020
1	REV. PER ENGINEER CERTIFICATION	EM	10/22/19

6/23/2020
DATE

JOHN HANSEN
 PROFESSIONAL ENGINEER
 N.J. P.E. NO. 24GE04194500

PROJECT:

**6 EAST MAIN STREET
PRELIMINARY AND FINAL
MAJOR SITE PLAN
BLOCK 601, LOT 3
MENDHAM BOROUGH**

MORRIS COUNTY NEW JERSEY

LEGEND AND NOTES

JOB NO.:	19135	DRAWING NO.:	2 14
SCALE:	AS SHOWN		
DESIGNED:	EM		
CHECKED:	JH		
FILENAME:	02_LEGEND & NOTES.DWG		
DATE:	09/09/2019		

GENERAL NOTES:

1. THIS PLAN REPRESENTS A SURVEY MADE ON THE GROUND.
2. A TITLE REPORT OR COMMITMENT WAS NOT PROVIDED OR USED IN THE PREPARATION OF THIS PLAN.
3. IF THIS PLAN DOES NOT CONTAIN AN ORIGINAL SIGNATURE AND IMPRESSION SEAL OF THE UNDERSIGNED LICENSED LAND SURVEYOR IT IS NOT AN AUTHENTIC COPY AND MAY HAVE BEEN ALTERED.
4. THIS PROPERTY IS SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD, WRITTEN AND UNWRITTEN.
5. THIS PLAN MAKES NO REPRESENTATION TO THE LOCATION OF ANY SUB-SURFACE UTILITIES OR STRUCTURES THAT WERE NOT VISIBLE AT THE TIME OF THE SURVEY.
7. VERTICAL CONTROL FOR THIS PROJECT IS BASED ON AN ASSUMED DATUM AND RELATIVE TO THIS PROJECT ONLY.
8. SUBJECT TO THE RIGHTS OF A RECIPROCAL ACCESS EASEMENT AGREEMENT AS DESCRIBED IN DEED BK. 20494 PG. 447.

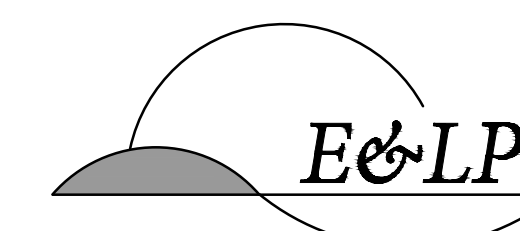
SURVEY REFERENCE:

1. A MAP ENTITLED "MAP OF SURVEY, BLOCK 601, LOT 3, BOROUGH OF MENDHAM, MORRIS COUNTY, NEW JERSEY," PREPARED BY TEMPLIN ENGINEERING ASSOCIATES, DATED NOVEMBER 09, 2018.
2. A MAP ENTITLED "TOPOGRAPHIC SURVEY," PREPARED BY ENGINEERING & LAND PLANNING ASSOCIATES, INC., DATED 09/03/19.

NOTES:

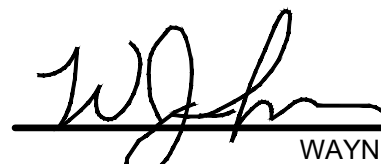
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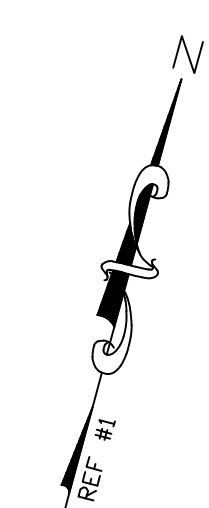
NO.	REVISION	BY	DATE
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2	REV. PER BOROUGH COMMENTS	EM	5/19/2020
1	REV. PER ENGINEER CERTIFICATION	EM	10/22/19

6/23/2020 DATE 
 WAYNE J. INGRAM
 PROFESSIONAL SURVEYOR
 N.J. P.L.S. NO. 24GB04258200

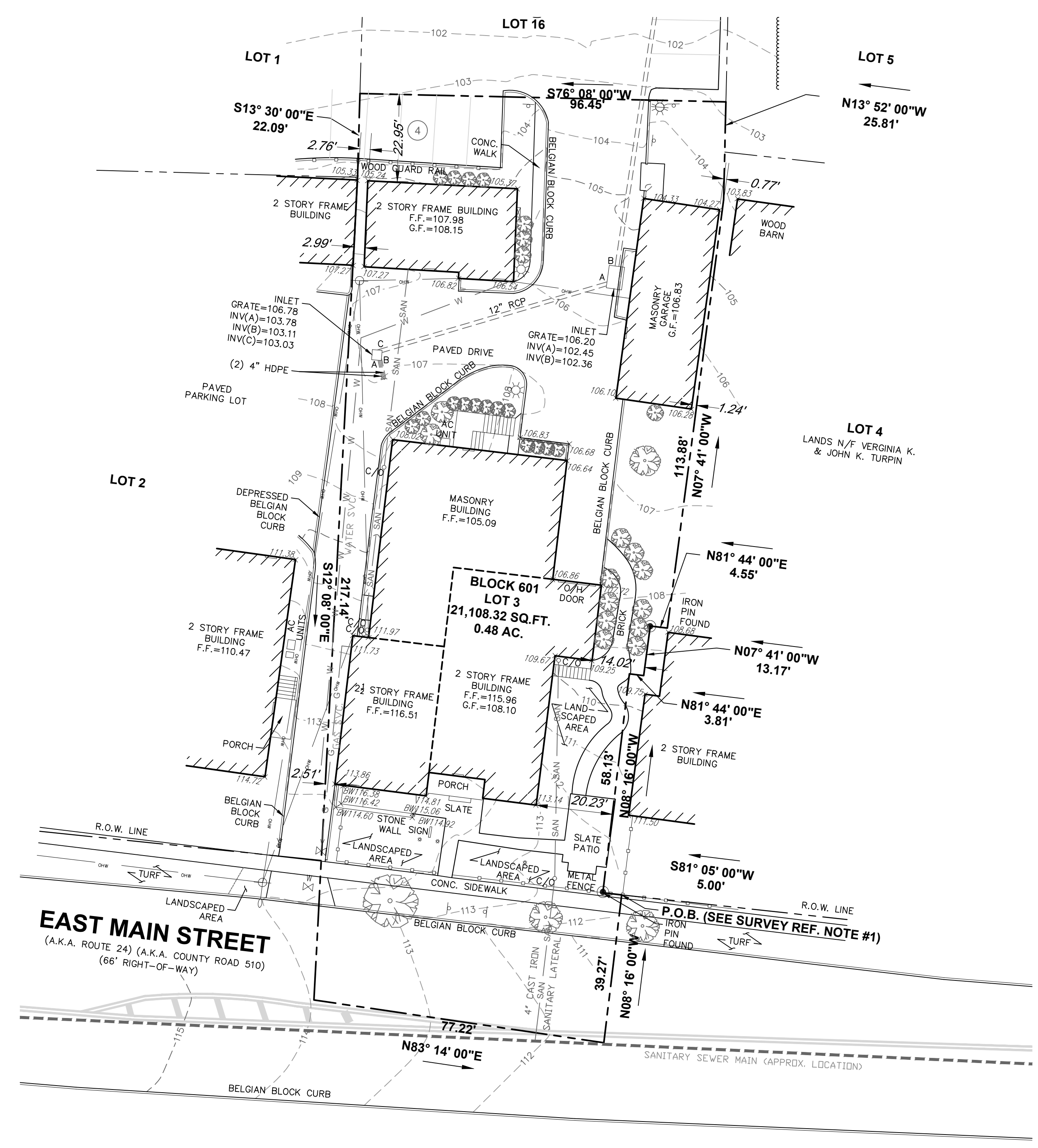
PROJECT:
 6 EAST MAIN STREET
 PRELIMINARY AND FINAL
 MAJOR SITE PLAN
 BLOCK 601, LOT 3
 MENDHAM BOROUGH
 MORRIS COUNTY NEW JERSEY

EXISTING CONDITIONS PLAN

JOB NO.:	19135	DRAWING NO.:	3 14
SCALE:	1"=20'		
DESIGNED:	EM		
CHECKED:	JH		
FILENAME:	SURVEY.DWG		
DATE:	09/09/2019		

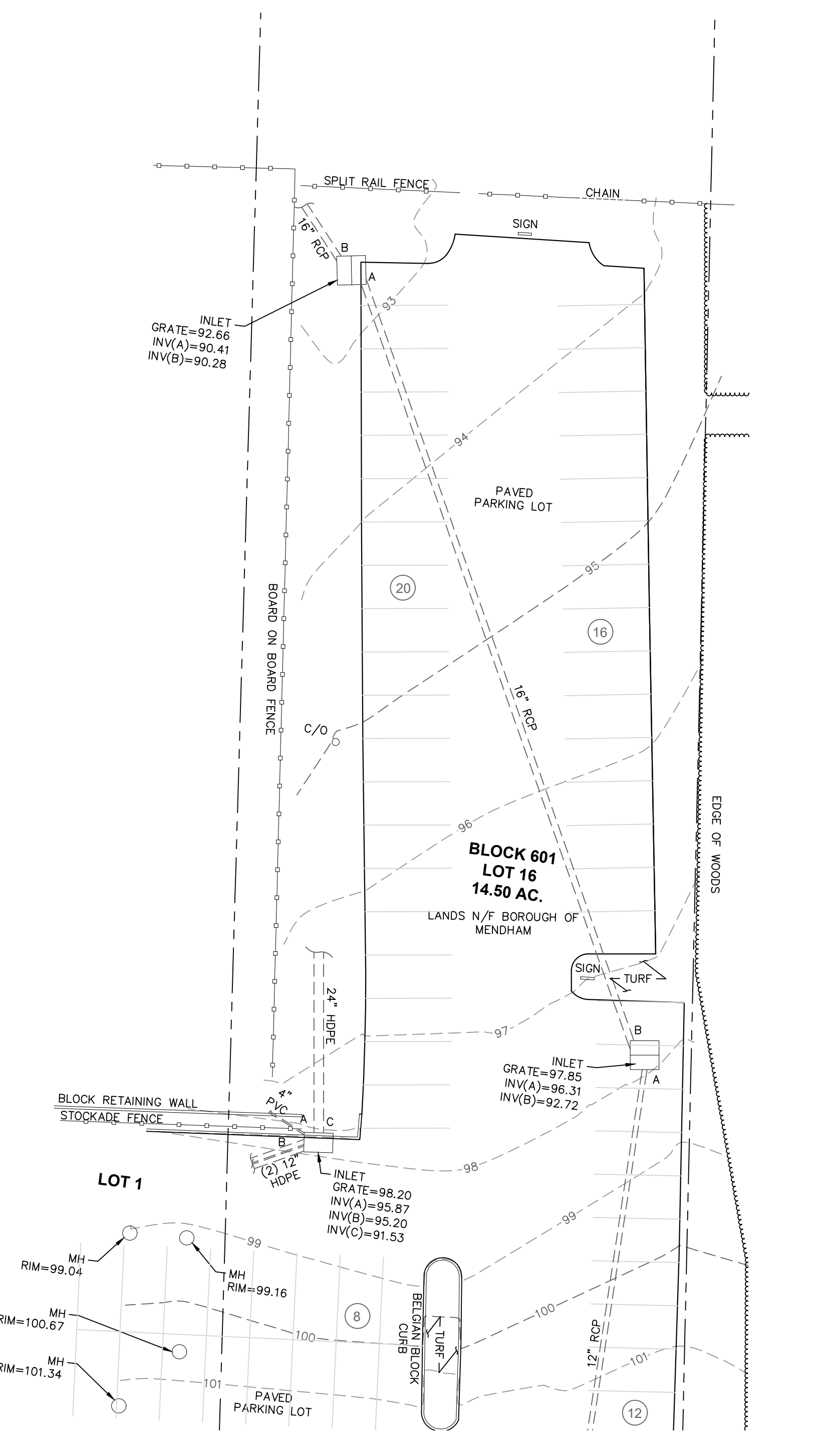
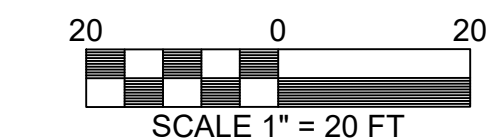


MATCH LINE A-A

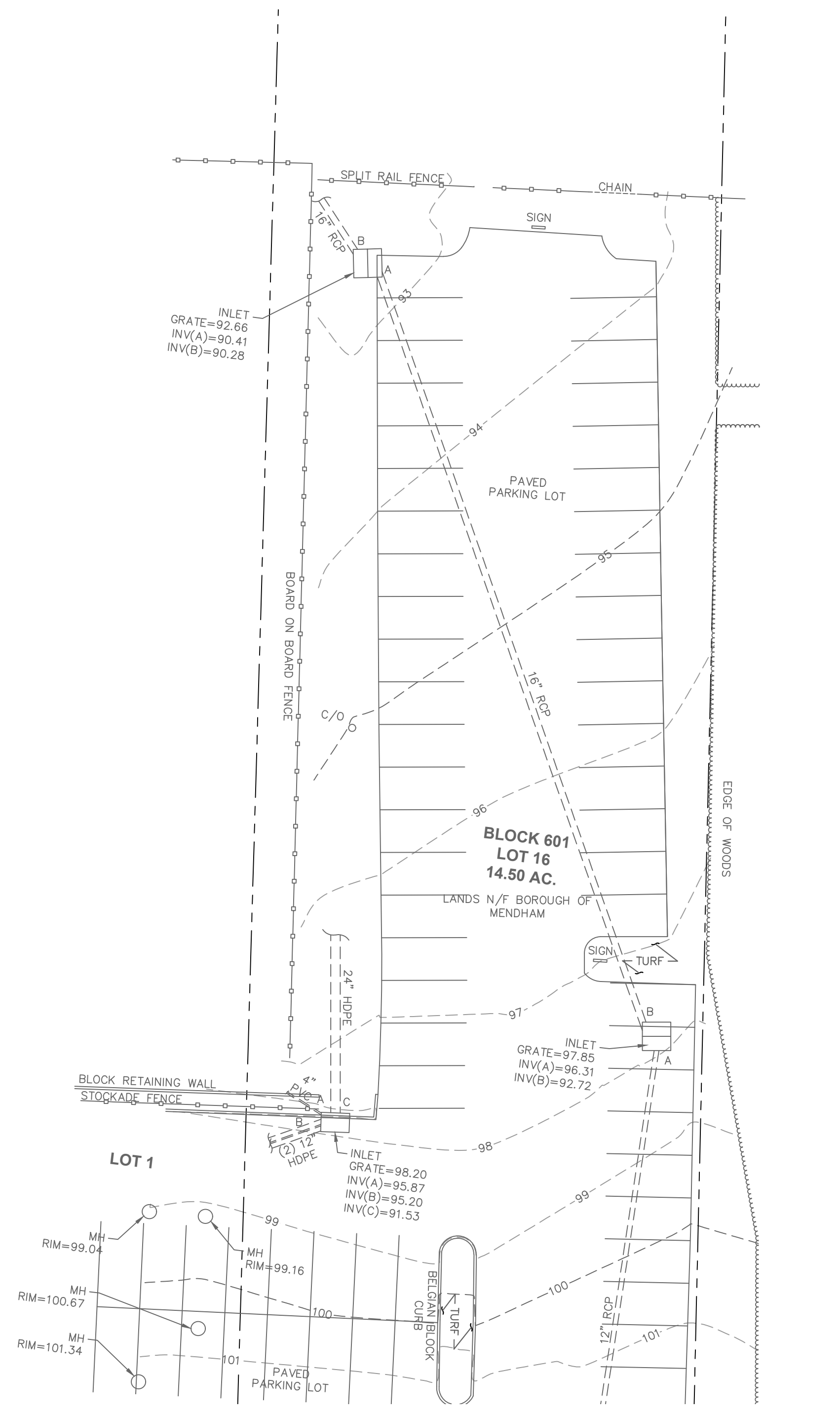
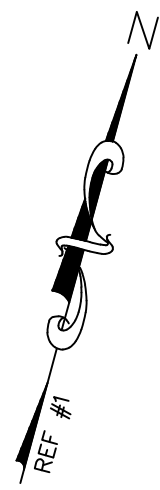


NOTES:

1. ALL EXISTING ROOF DRAINAGE ON SUBJECT LOT DISCHARGES TO GRADE.
2. LOCATIONS OF EXISTING UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE AND SHALL BE VERIFIED IN FIELD BY CONTRACTOR PRIOR TO CONSTRUCTION.

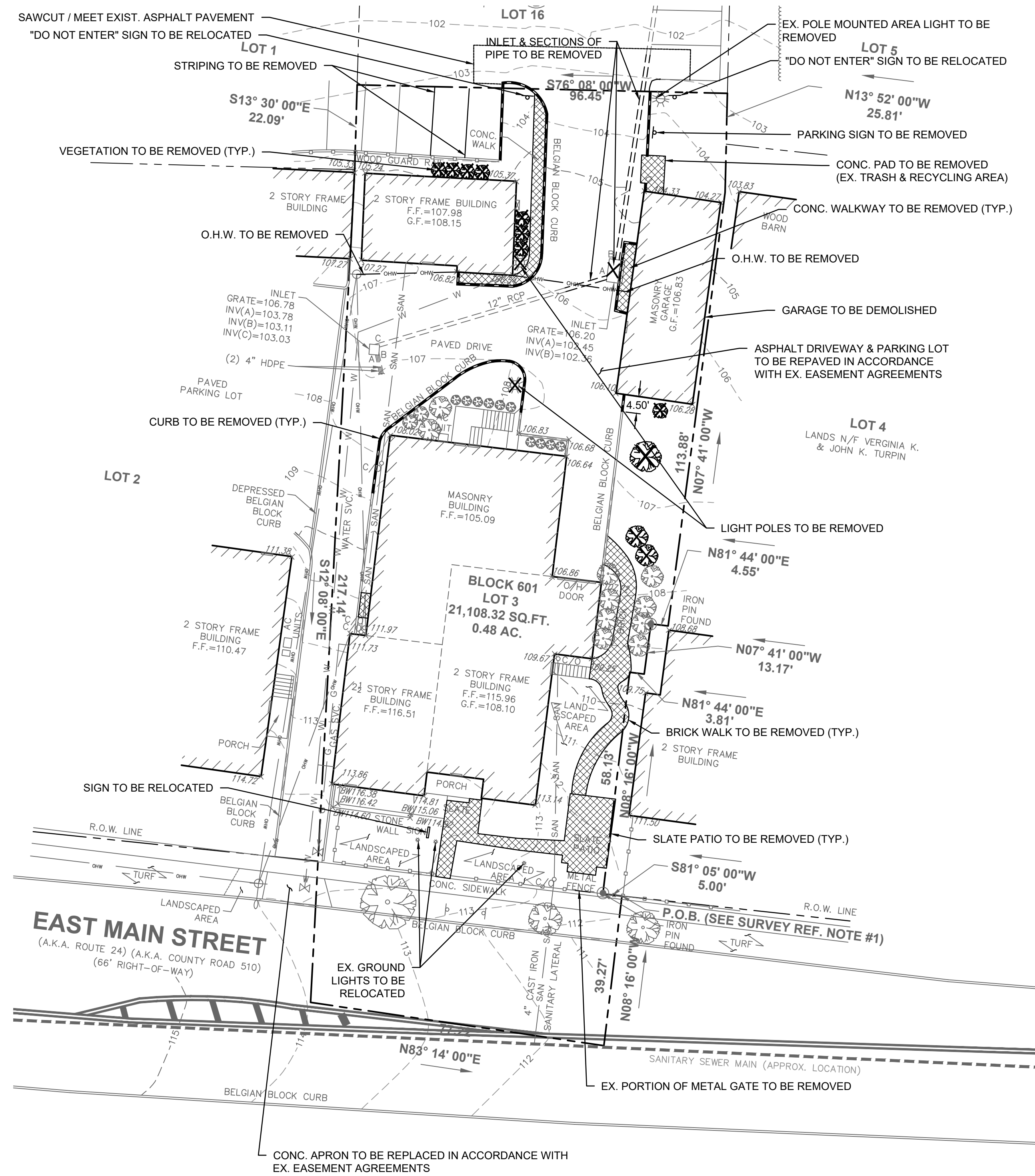


MATCH LINE A-A

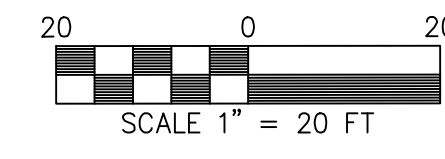


MATCH LINE A-A

MATCH LINE A-A



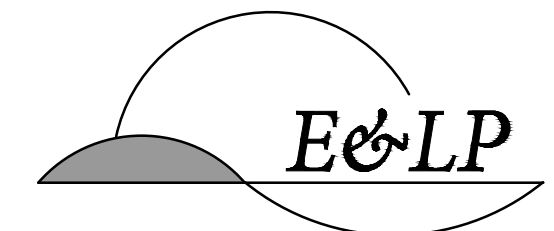
- NOTES:
1. LOCATIONS OF EXISTING UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE AND SHALL BE VERIFIED IN FIELD BY CONTRACTOR PRIOR TO CONSTRUCTION.



NOTES:

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 A PROFESSIONAL ASSOCIATION
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2	REV. PER BOROUGH COMMENTS	EM	5/19/2020
1	REV. PER ENGINEER CERTIFICATION	EM	10/22/19

6/23/2020 DATE
 JOHN HANSEN PROFESSIONAL ENGINEER
 N.J. P.E. NO. 24GE04194500

PROJECT:
 6 EAST MAIN STREET
 PRELIMINARY AND FINAL
 MAJOR SITE PLAN
 BLOCK 601, LOT 3
 MENDHAM BOROUGH
 MORRIS COUNTY NEW JERSEY

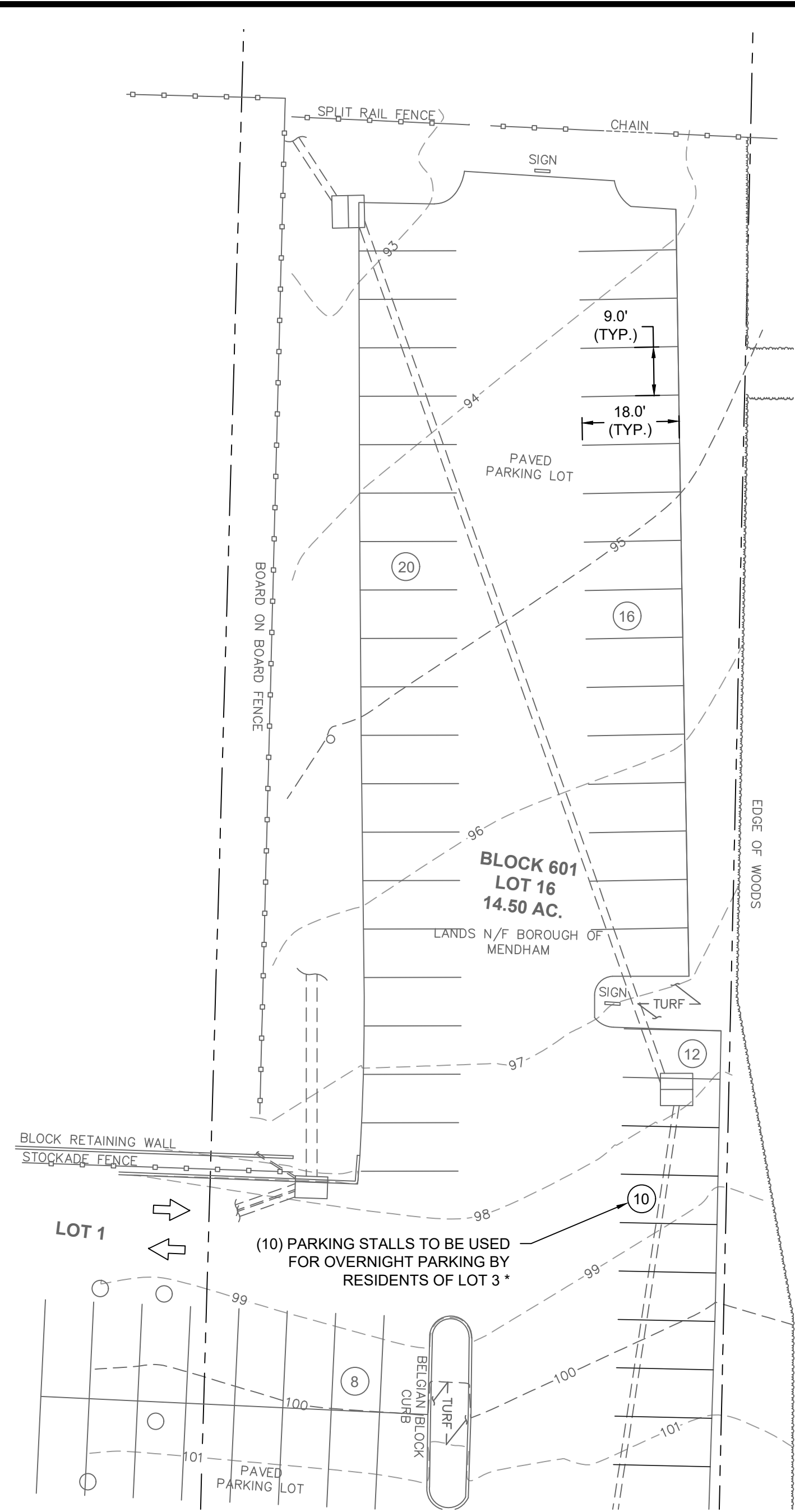
TITLE:
 DEMOLITION
 PLAN

JOB NO.:	19135	DRAWING NO.:	4
SCALE:	1"=20'		
DESIGNED:	EM		
CHECKED:	JH		
FILENAME:	DEMO.DWG		
DATE:	09/09/2019		14

MATCH LINE A-A

PROPOSED FLOOR PLANS

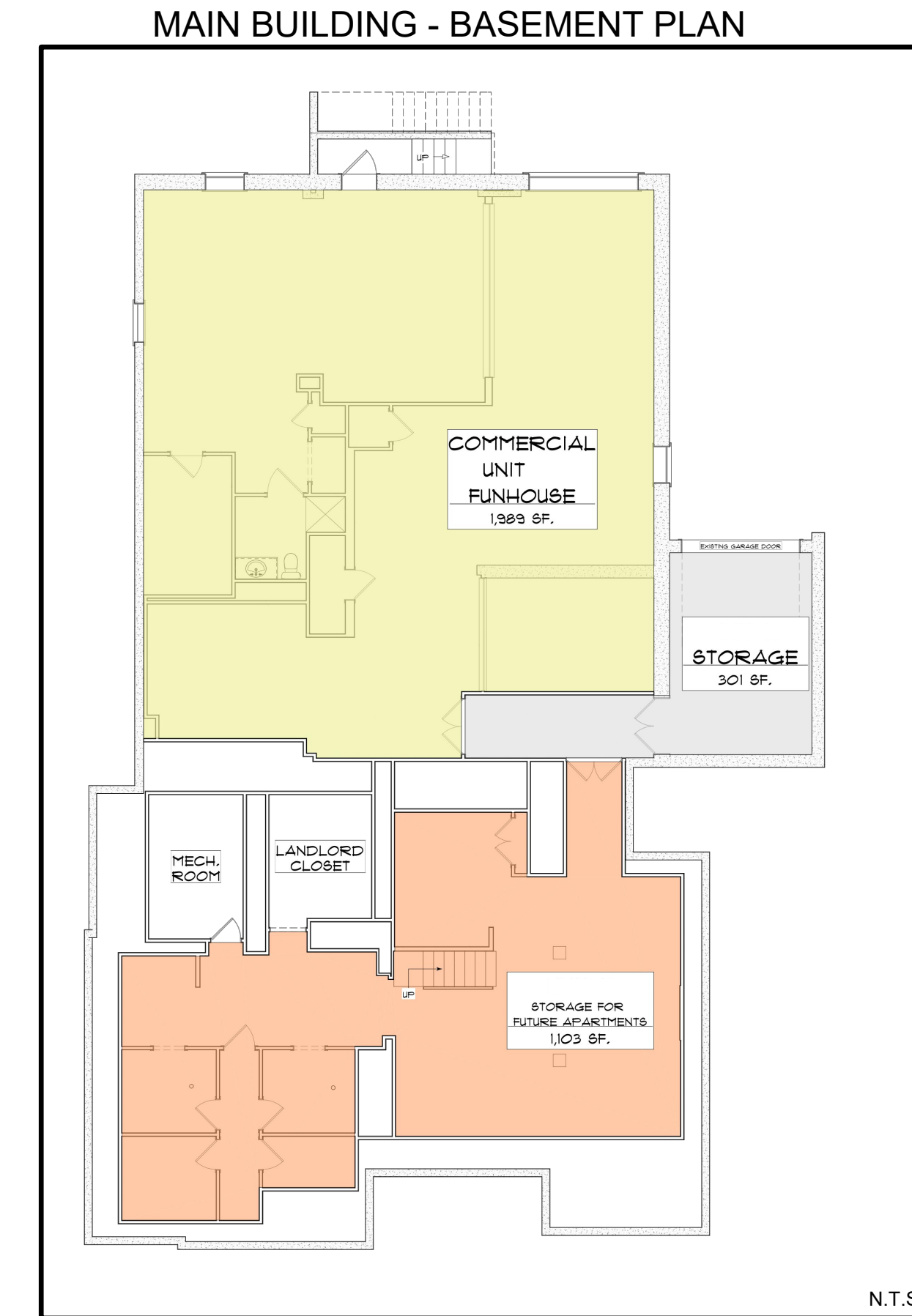
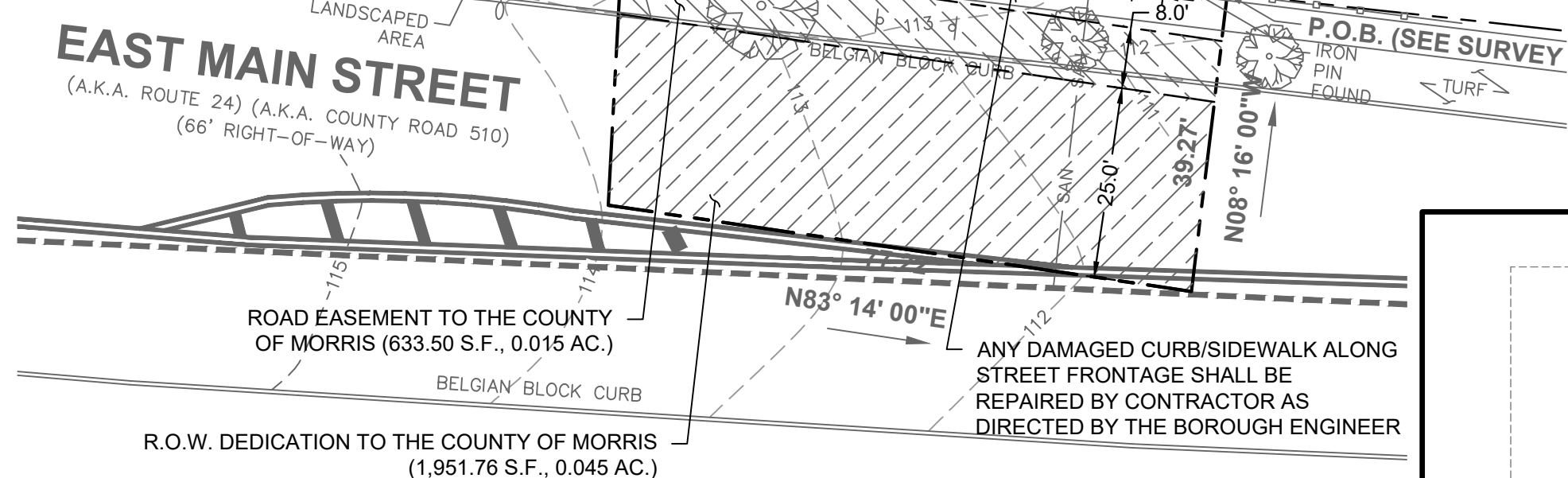
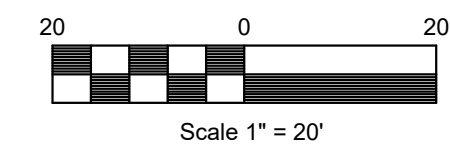
MAIN BUILDING - FIRST FLOOR PLAN



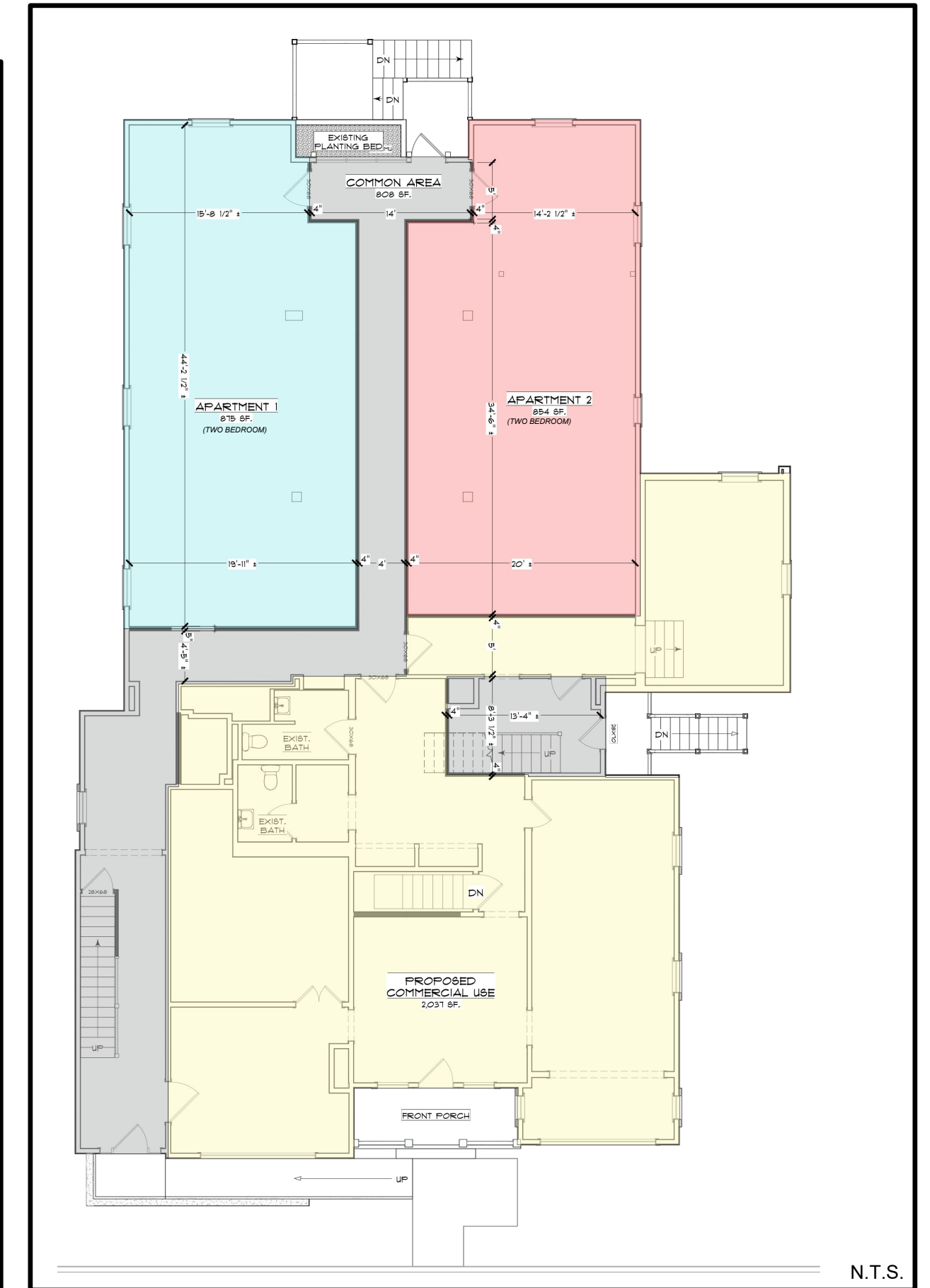
* LOADING SCHEDULE

LOADING REQUIRED:
 PER ORDINANCE SECTION 195 - 46A, TABLE 5:
 5,000 S.F. RETAIL REQUIRES
 (1) 12' X 35' LOADING BERTH

LOADING PROVIDED:
 (1) 12' X 35' LOADING BERTH



N.T.S.



N.T.S.

(FLOOR PLANS SHOWN PER PLAN ENTITLED "PROPOSED RENOVATIONS: 6 EAST MAIN STREET BOROUGH OF MENDHAM, NJ", PREPARED BY BYRNE DESIGN ASSOCIATES, INC., DATED 6/22/20)

IMPERVIOUS MATERIALS

ITEM	EXISTING	PERCENTAGE	PROPOSED	PERCENTAGE
BUILDINGS	6,694.3 S.F.	36.1%	6,714.3 S.F.	36.2%
PARKING LOT & CURBING	5,657.1 S.F.		5,367.0 S.F.	48.4%
WALKWAYS, CONCRETE, & STAIRS	1,850.5 S.F.	40.5%	3,602.0 S.F.	
TOTAL IMPERVIOUS COVERAGE	14,201.9 S.F.	76.7%	15,683.3 S.F.	84.7%

* PERCENTAGE OF LOT COVERAGE BASED ON LOT AREA EXCLUDING R.O.W. DEDICATION AND ROAD EASEMENT
 LOT AREA = 21,108.32 S.F. (0.48 AC.)
 LOT AREA EXCLUDING R.O.W. DEDICATION AND ROAD EASEMENT = 18,523.06 S.F. (0.42 AC.)

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MATCH LINE A-A

PARKING SCHEDULE

PARKING REQUIRED:	STALLS REQ.:	PARKING PROVIDED ON-SITE:
PER ORDINANCE SECTION 195 - 45A: 4,026 SF RETAIL (6 PARKING STALLS REQ. / 1,000 SF)	25 STALLS	(3) 9' X 18' STALL PROPOSED (1) 8' X 8' ADA STALL PROPOSED (W/ VAN 8' ACCESSIBILITY)
PER RSIS N.J.A.C. 5:21 - 4.14	10 STALLS	
(5) 2-BR APARTMENT UNITS (2 STALLS REQ. / UNIT)	4 STALLS	
(2) 1-BR APARTMENT UNITS (1.8 STALLS REQ. / UNIT)	39 STALLS	
TOTAL STALLS REQUIRED	39 STALLS	
ADA STALLS REQUIRED:	1 ADA STALL	
PER 28 CFR PART 36 SECTION 4.1.2: 1 - 25 STALLS TOTAL (LOT 3)		

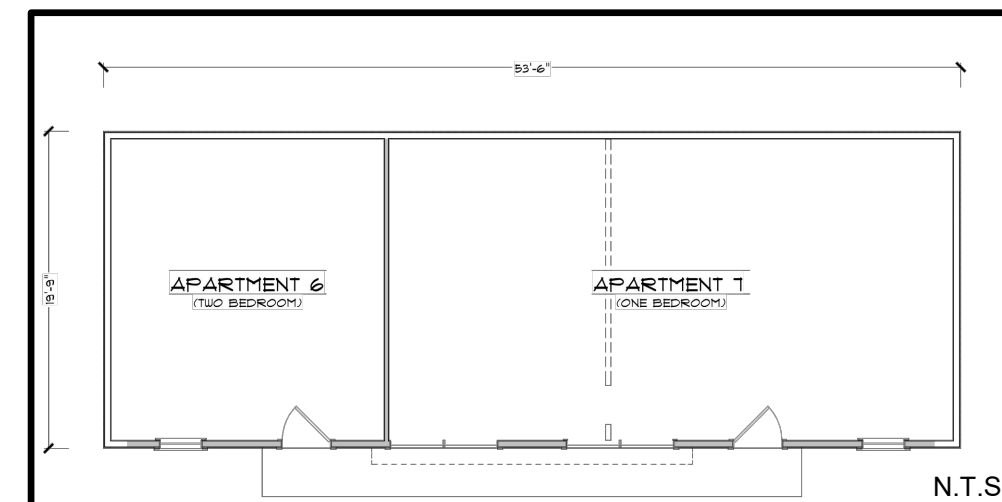
PARKING VARIANCE

ORDINANCE SECTION 195 - 45A:
 MINIMUM OFF-STREET PARKING STALLS REQUIRED IS 39 STALLS. 4 PARKING STALLS ARE PROPOSED.
 VARIANCE REQUESTED FOR PROPOSED DEFICIT OF 35 PARKING STALLS. *

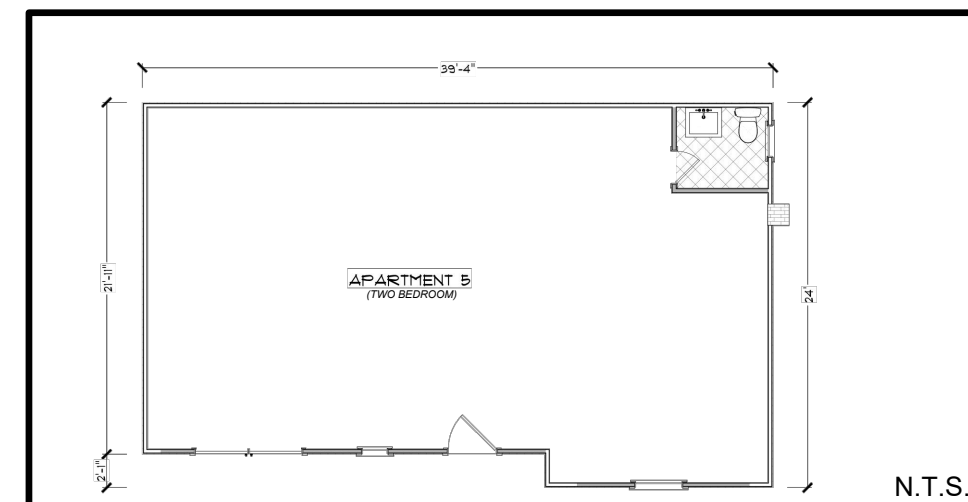
PARKING NOTE

* LOT 16 IS CURRENTLY A PUBLIC PARKING LOT CONTAINING 56 EXISTING PARKING STALLS. THE BOROUGH COUNCIL HAS AGREED TO PROVIDE A LICENSE FOR 10 OVERNIGHT PARKING PERMITS FOR THE 7 RESIDENTS APPROVED IN CONJUNCTION WITH 6 EAST MAIN STREET (RESOLUTION #095-2020). TOTAL PARKING DEFICIT OF 25 STALLS PROPOSED.

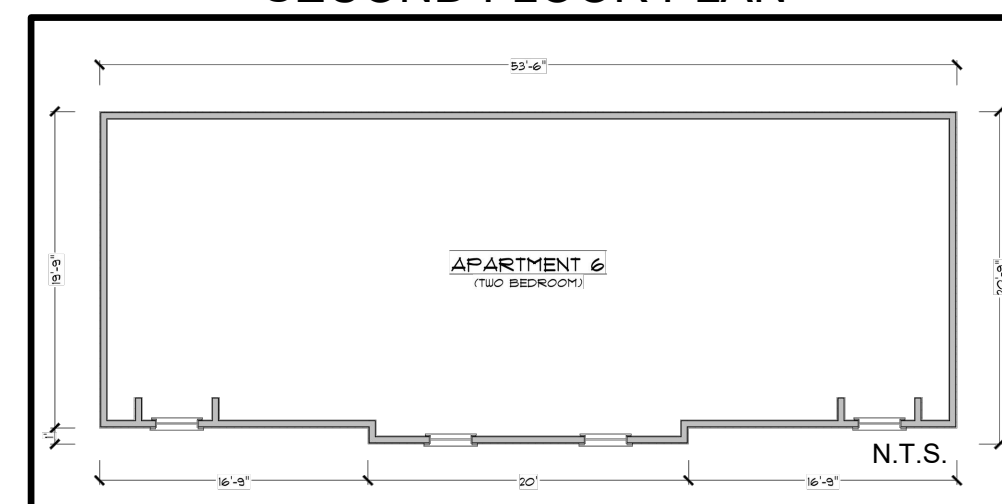
GARAGE APARTMENT BUILDING FIRST FLOOR PLAN



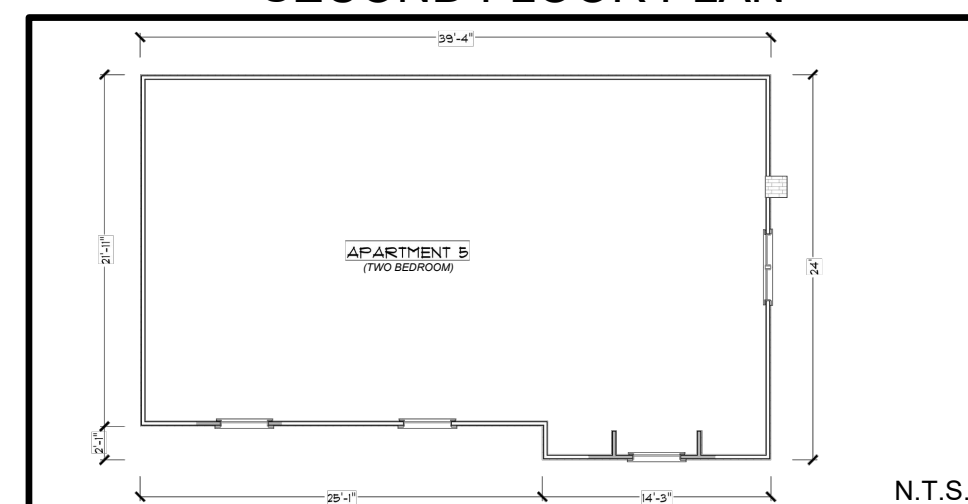
BARN APARTMENT BUILDING FIRST FLOOR PLAN



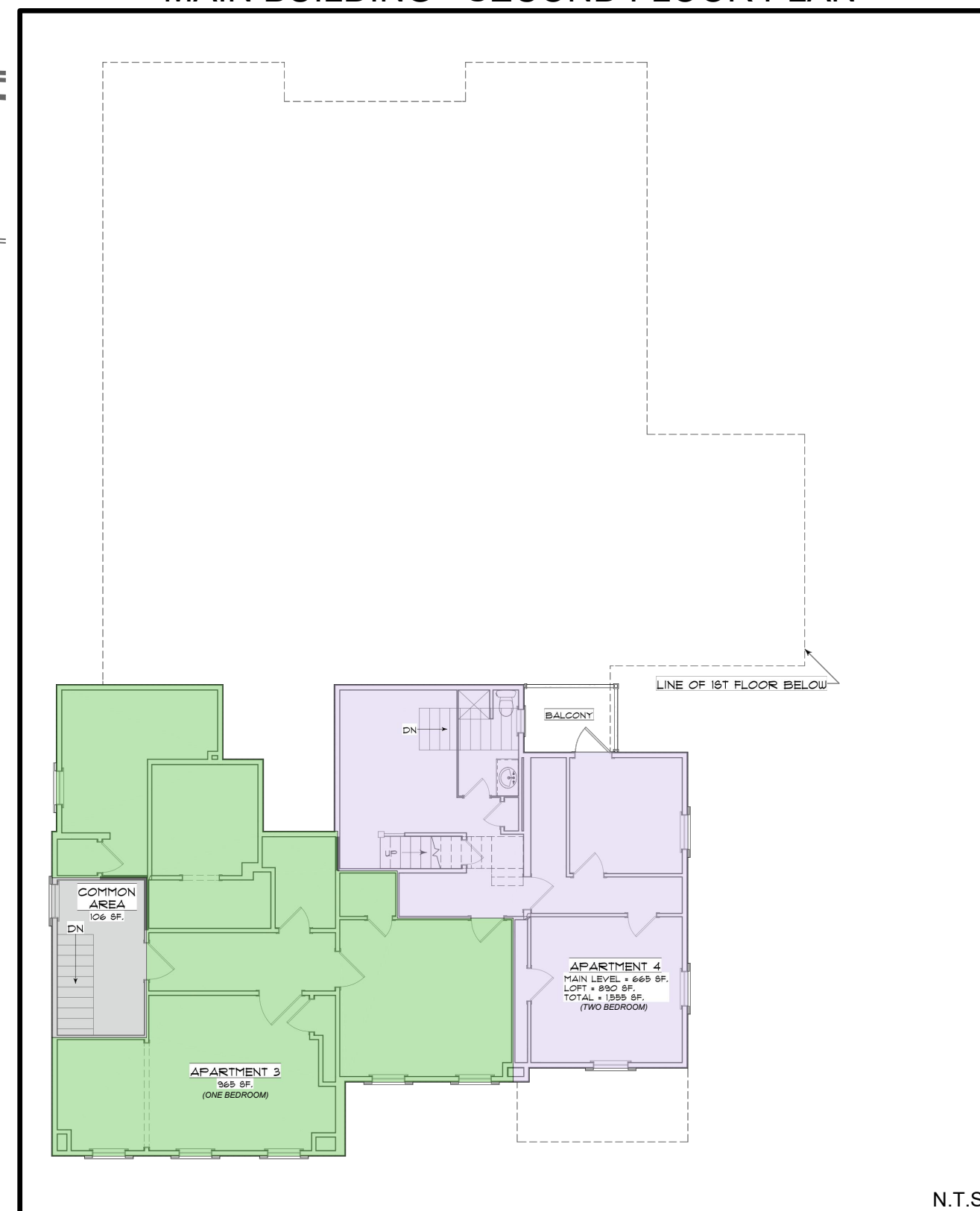
SECOND FLOOR PLAN



SECOND FLOOR PLAN

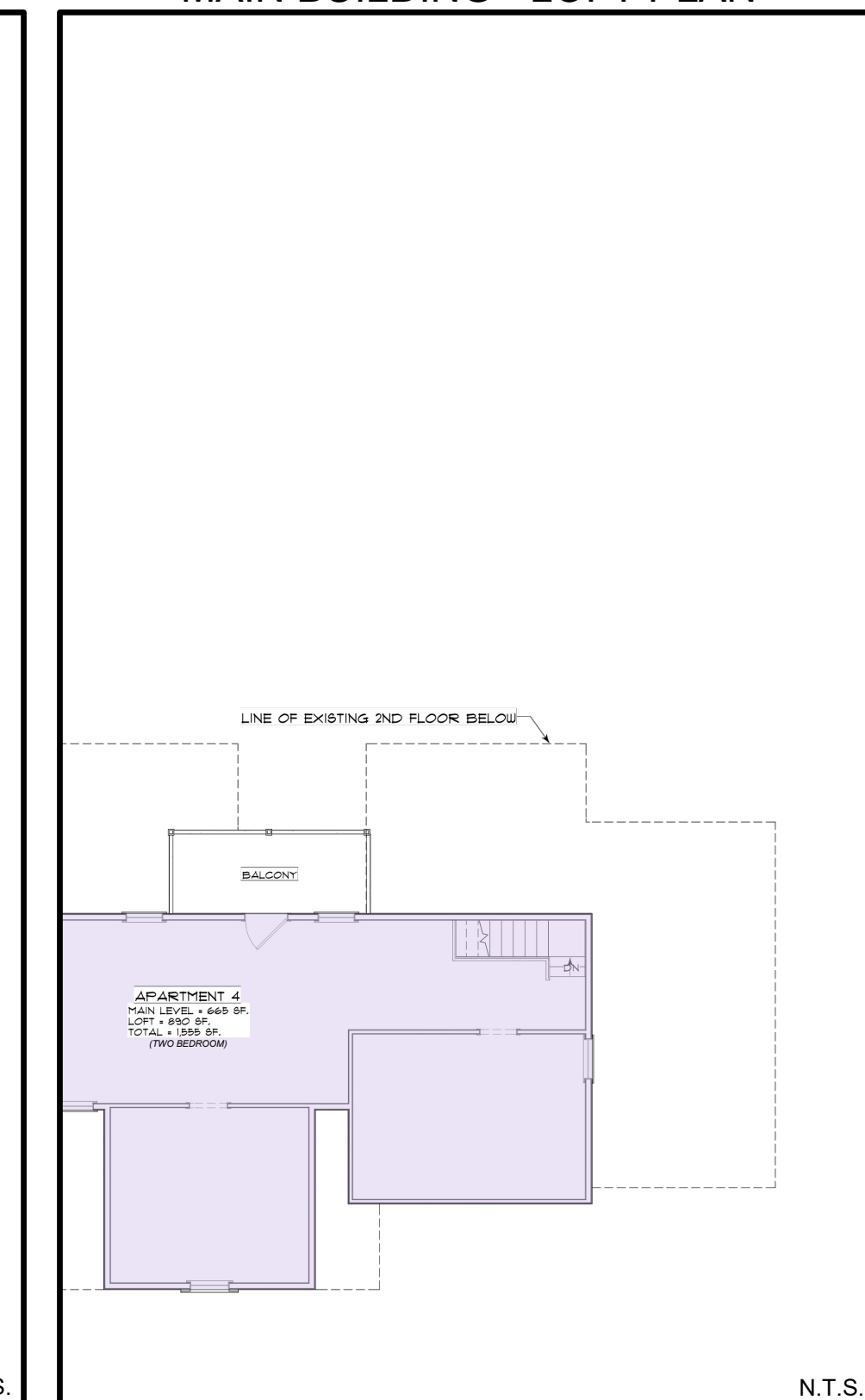


MAIN BUILDING - SECOND FLOOR PLAN



N.T.S.

MAIN BUILDING - LOFT PLAN



N.T.S.

140 WEST MAIN STREET HIGH BRIDGE, NJ 08829
 PH. 908-238-0544 FAX. 908-238-9572
 A PROFESSIONAL ASSOCIATION
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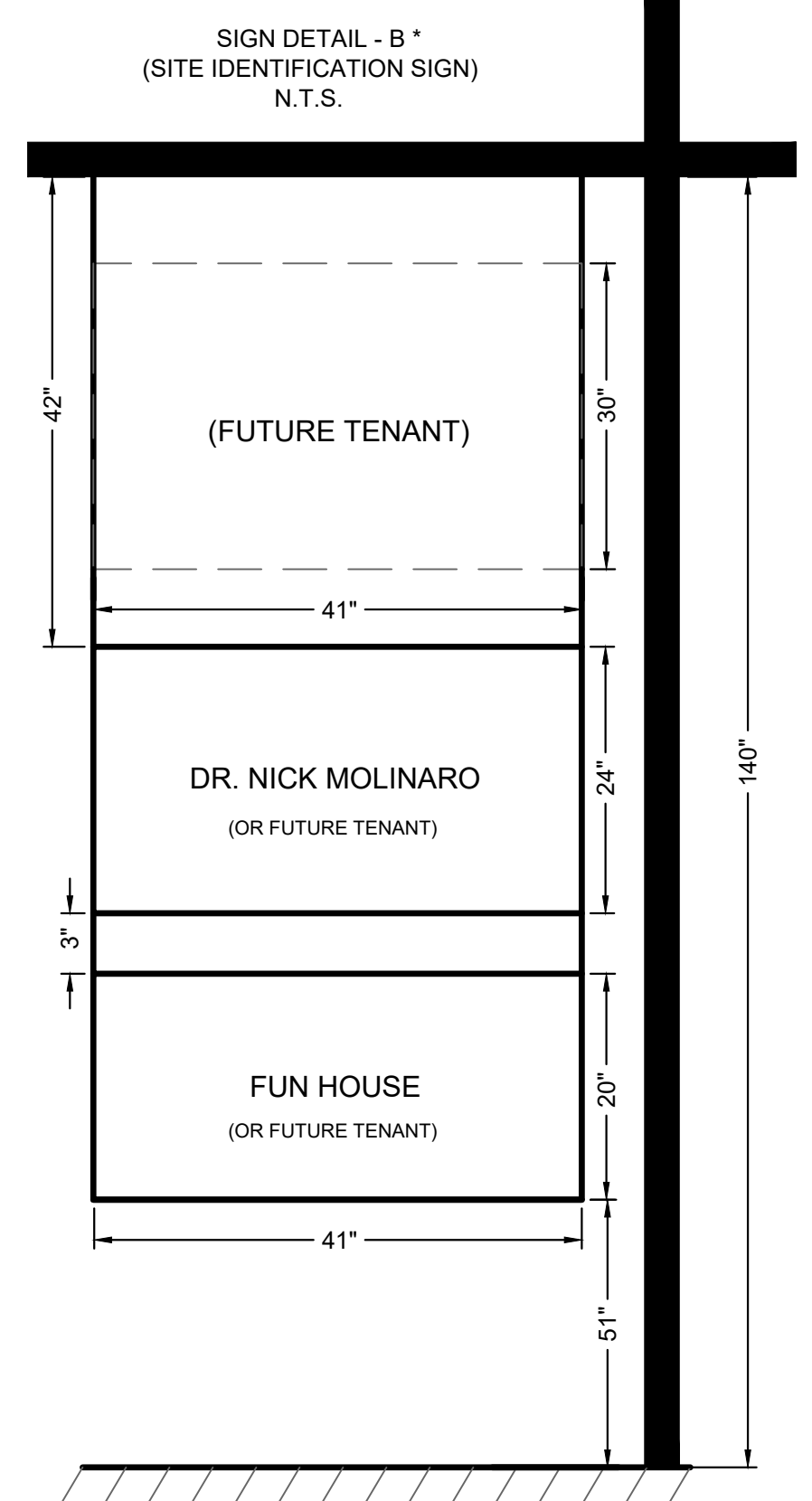
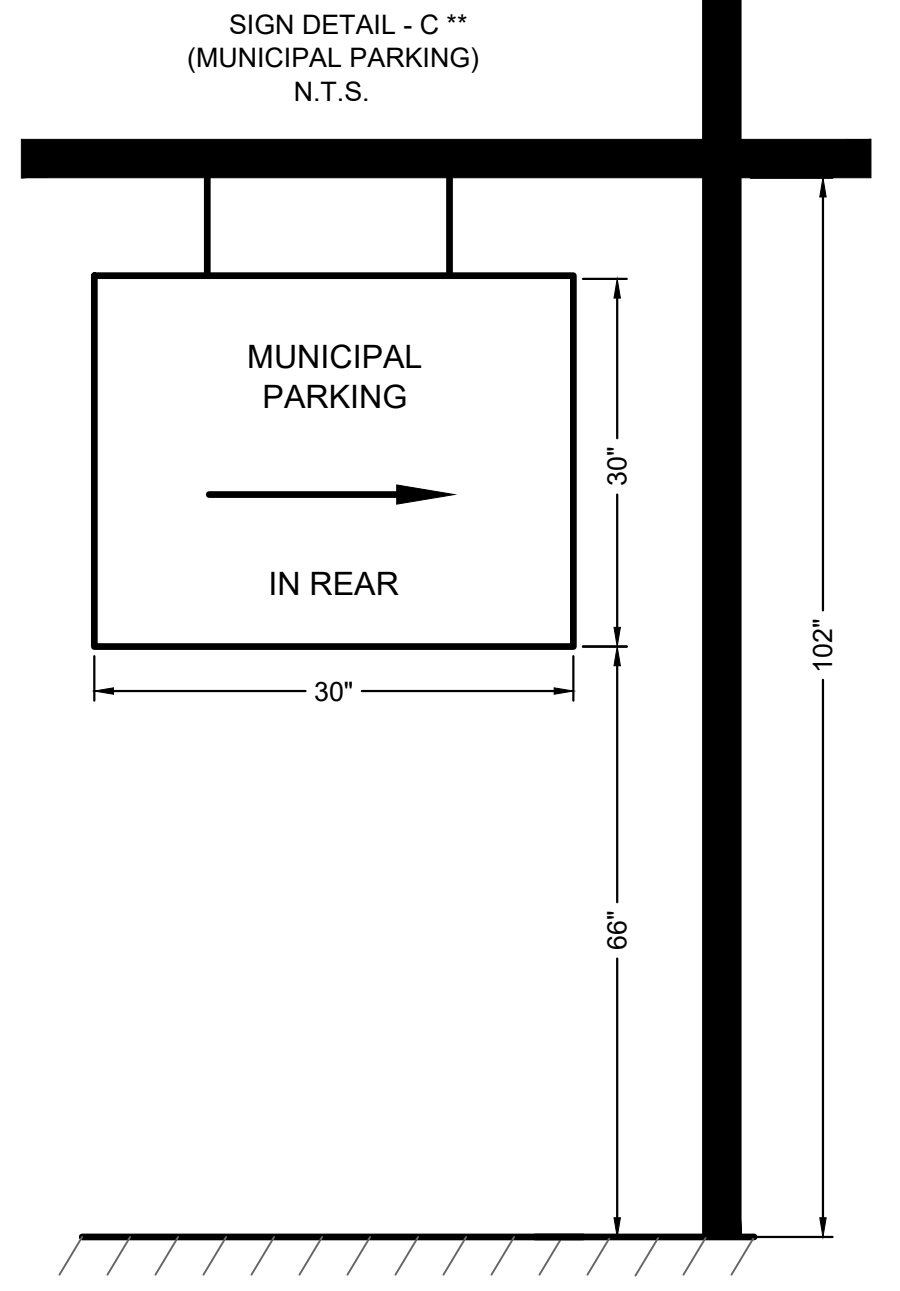
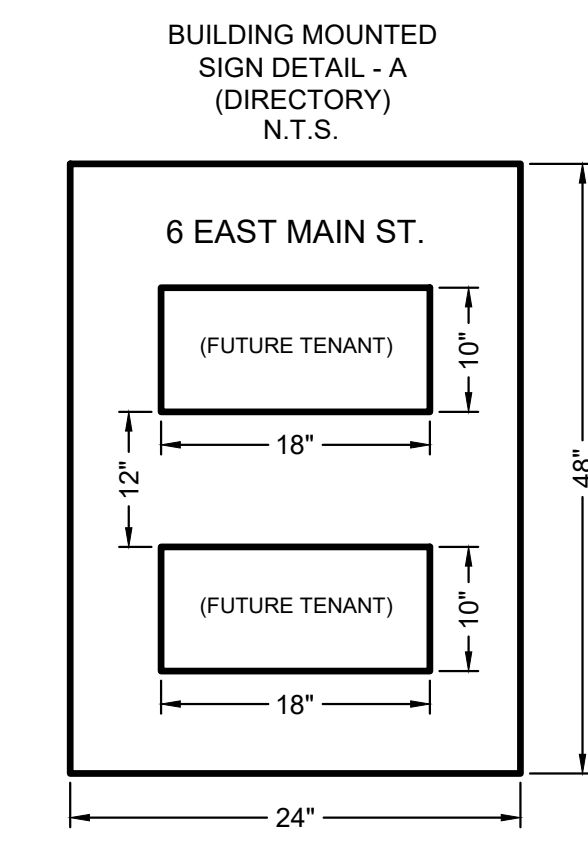
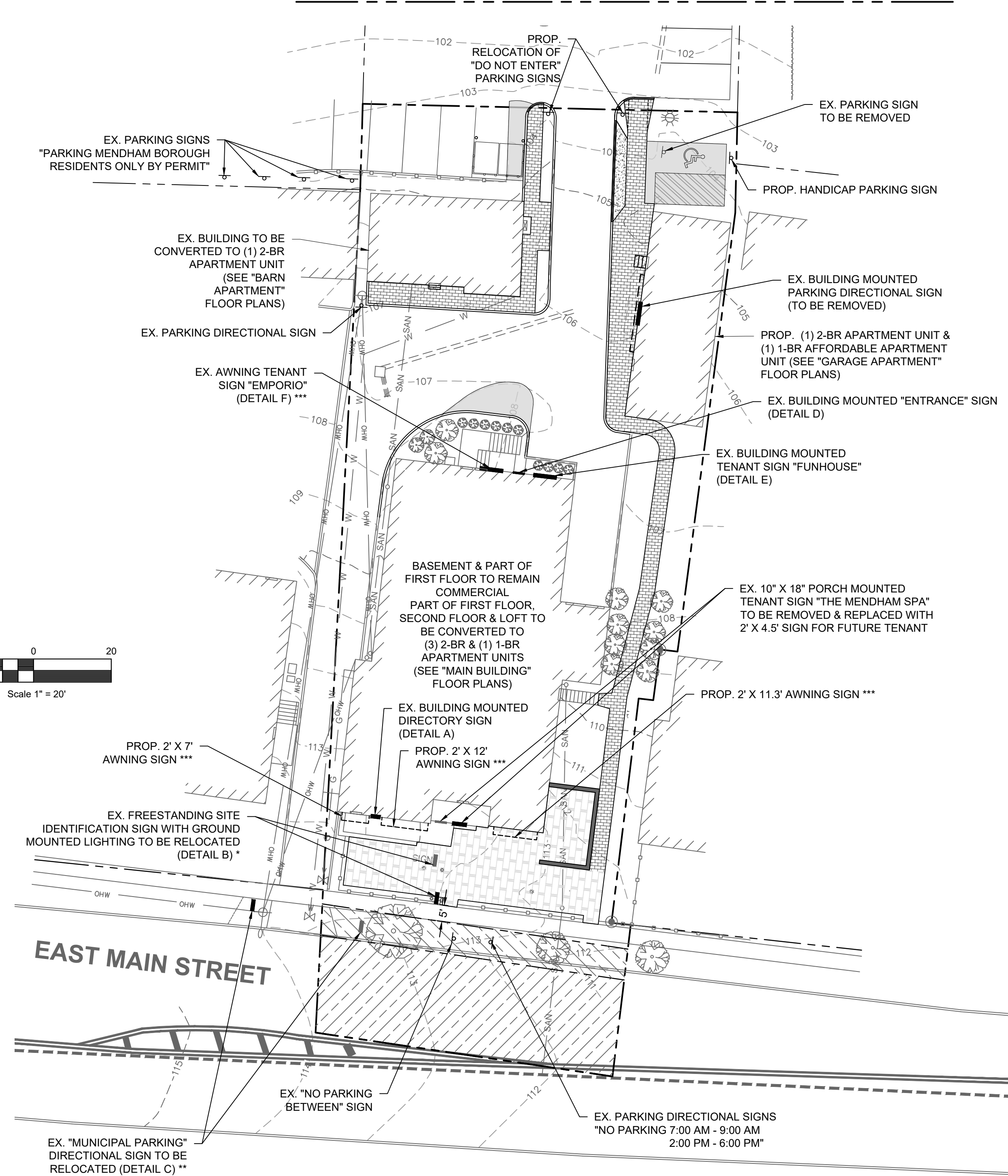
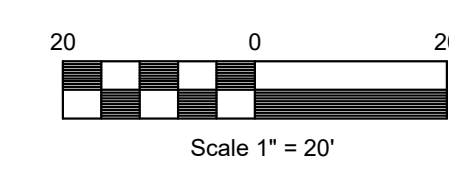
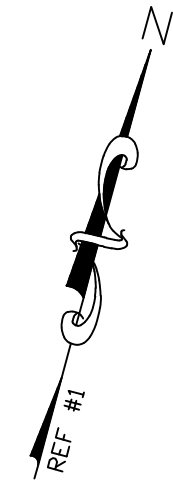
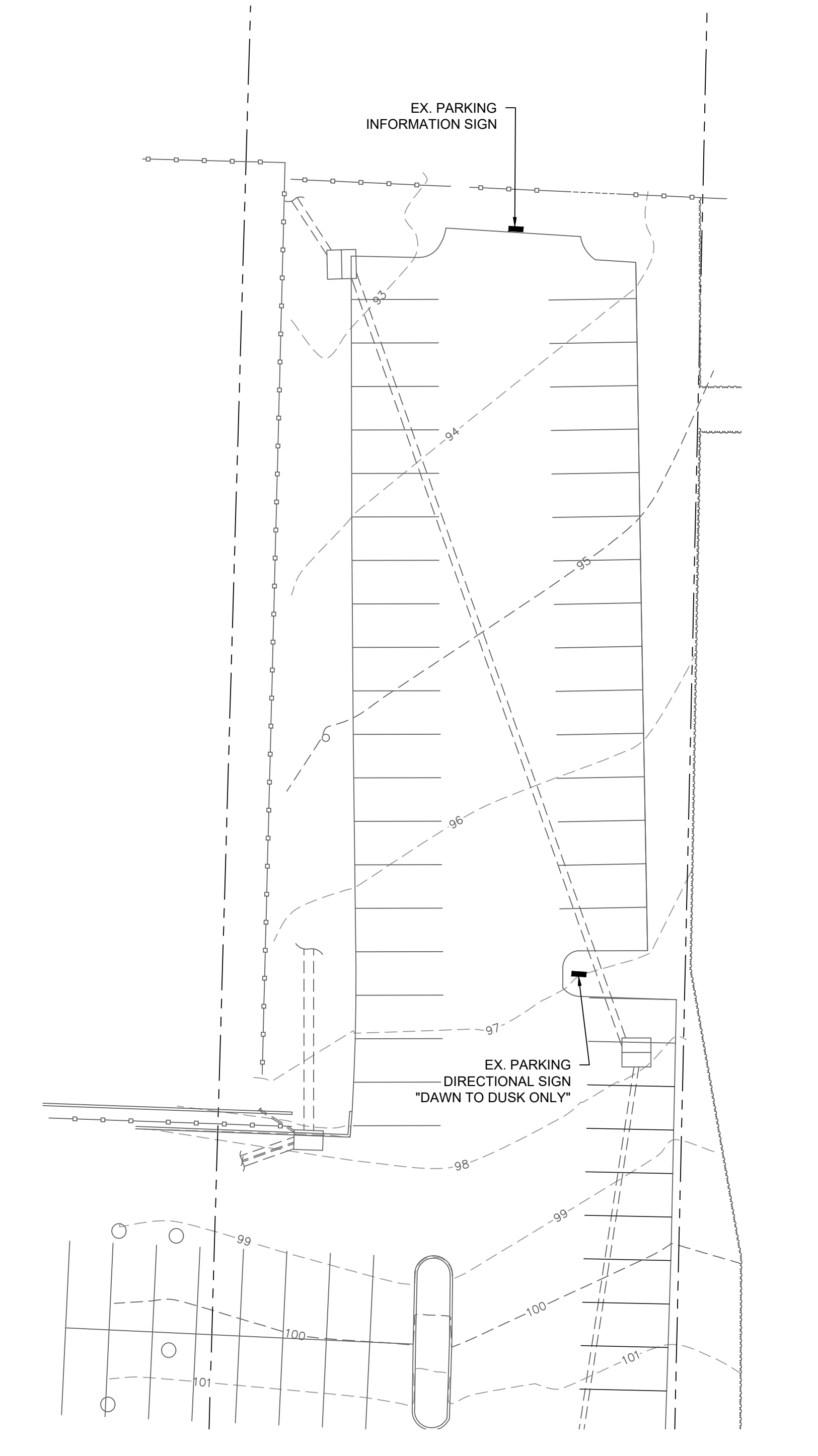
JOHN HANSEN
PROFESSIONAL ENGINEER
N.J. P.E. NO. 24GE04194500

PROJECT:
 6 EAST MAIN STREET
 PRELIMINARY AND FINAL
 MAJOR SITE PLAN
 BLOCK 601, LOT 3
 MENDHAM BOROUGH
 MORRIS COUNTY NEW JERSEY

TITLE:
 SITE PLAN

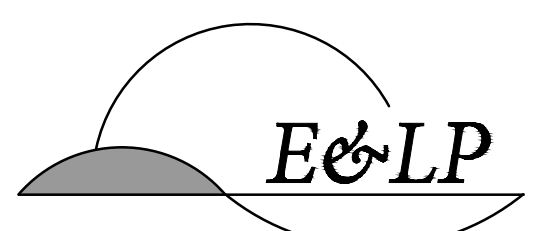
JOB NO.:	19135	DRAWING NO.:	5 14
SCALE:	AS SHOWN		
DESIGNED:	EM		
CHECKED:	JH		
FILENAME:	SITE.DWG		
DATE:	09/09/2019		

MATCH LINE A-A



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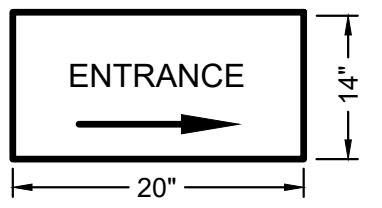
TITLE:
SIGNAGE PLAN

JOB NO.: 19135
 SCALE: 1" = 20'
 DESIGNED: EM
 CHECKED: JH
 FILENAME: SIGNAGE.DWG
 DATE: 09/09/2019

DRAWING NO.:
6
14

MATCH LINE A-A

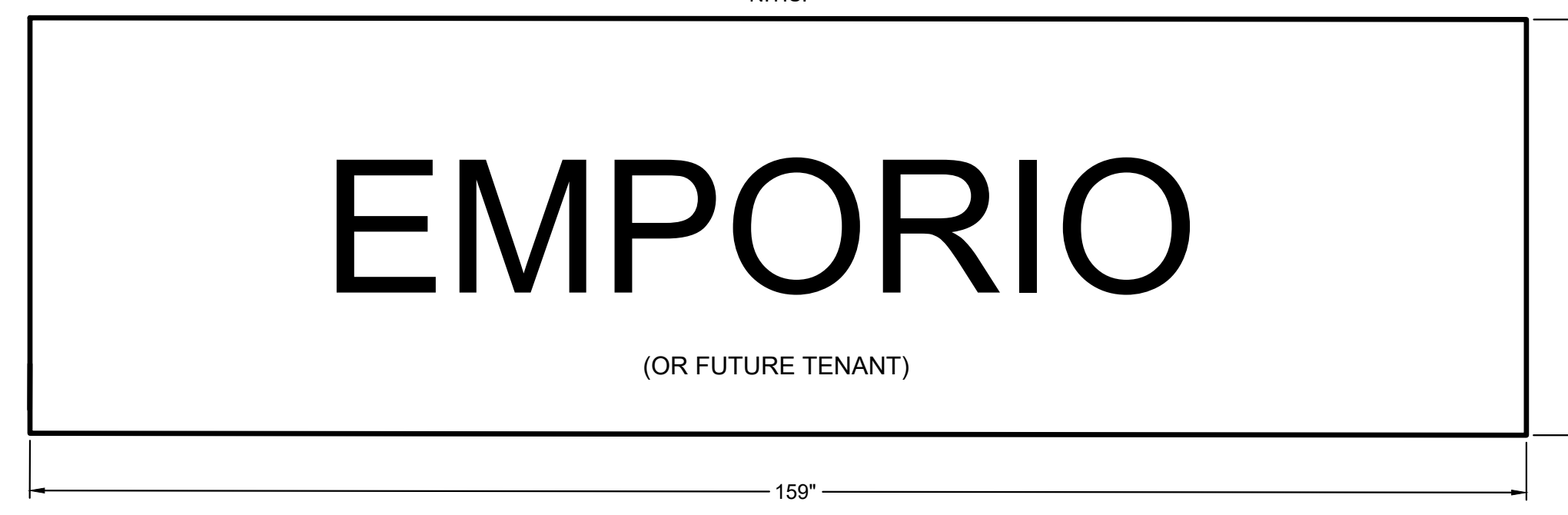
BUILDING MOUNTED SIGN DETAIL - D (ENTRANCE) N.T.S.



BUILDING MOUNTED SIGN DETAIL - E (FUNHOUSE) N.T.S.



AWNING SIGN DETAIL - F (EMPORIO) N.T.S.



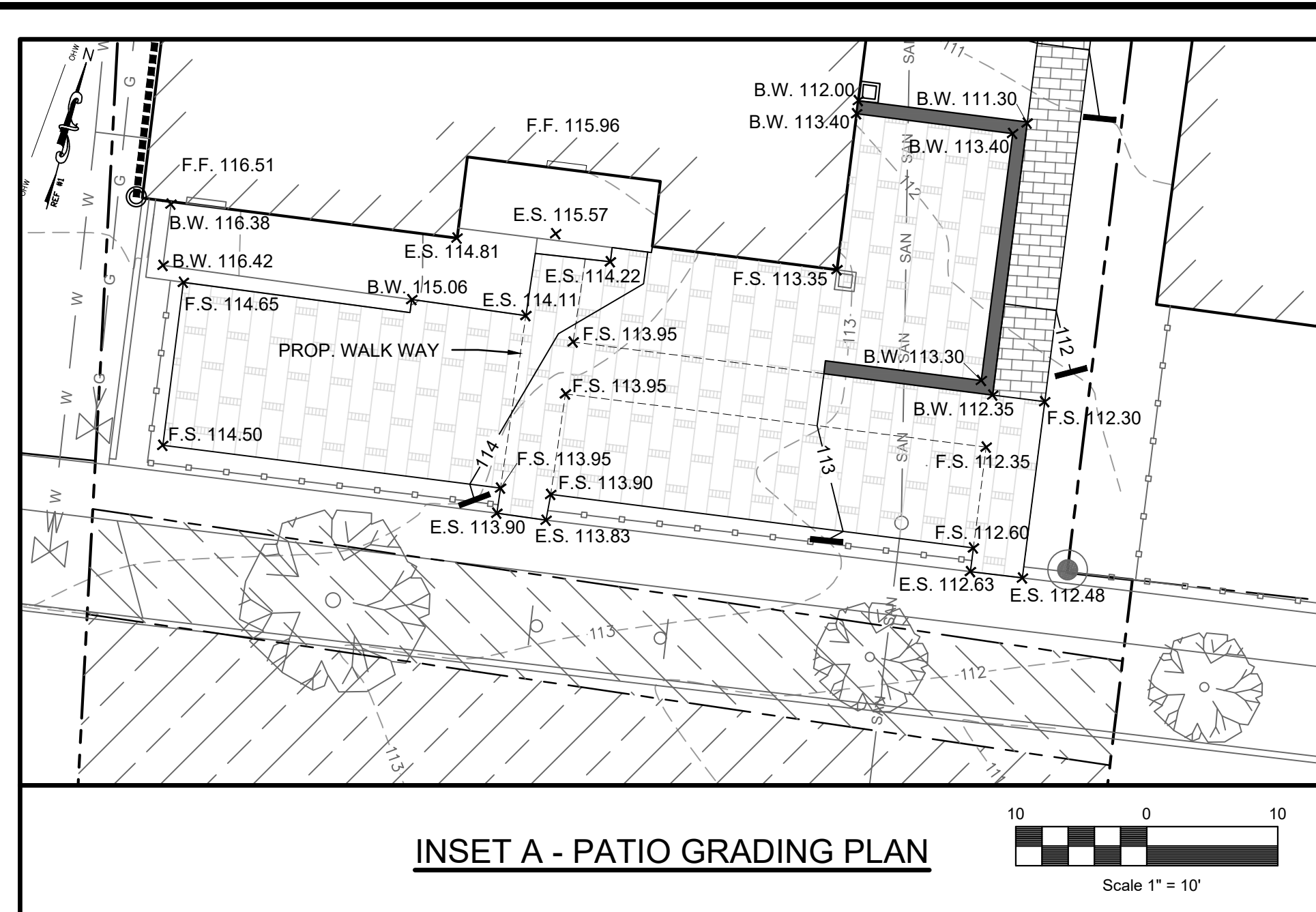
SIGN VARIANCE

215 - 8D - 1(c): MAXIMUM HEIGHT OF FREESTANDING SIGN SHALL NOT EXCEED 10 FEET ABOVE EXISTING GRADE.
 VARIANCE REQUESTED FOR EXISTING FREESTANDING SIGN BEING APPROXIMATELY 12 FEET ABOVE EXISTING GRADE. THIS IS AN EXISTING NON-CONFORMING CONDITION. EXISTING SIGN TO REMAIN AND NO CHANGES TO THE SIGN HEIGHT ARE PROPOSED.

SIGNAGE SUMMARY TABLE		
ITEM	EXISTING SIGNS LOT 3	PROPOSED SIGNS LOT 3
TRAFFIC /PARKING SIGNS	8	7
FREESTANDING SIGN	1	1
BUILDING MOUNTED SIGNS ***	5	8
TOTAL	14	16

SIGN NOTES

- * INDIVIDUAL SIGN PANELS ON SITE ID SIGN (DETAIL B) COLLECTIVELY CONSIDERED ONE (1) FREESTANDING SIGN.
- ** MUNICIPAL PARKING DIRECTIONAL SIGN (DETAIL C) SUBJECT TO COUNTY APPROVAL, IF REQUIRED.
- *** AWNING SIGNS INCLUDED AS BUILDING MOUNTED SIGNS.



NOTES:

- FRONT PATIO AND WALKWAY GRADING SHOWN FOR DEMONSTRATION OF ADA ACCESS. FINAL PATIO DESIGN SUBJECT TO CHANGES.
- LOCATIONS OF EXISTING UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE AND SHALL BE VERIFIED IN FIELD (V.I.F.) BY CONTRACTOR PRIOR TO CONSTRUCTION.
- SAFETY RAILINGS TO BE INSTALLED ON TOP OF PROPOSED WALL IN ACCORDANCE WITH CODE REQUIREMENTS.

BUILDING HEIGHT CALCULATIONS

MAX. BUILDING HEIGHT PERMITTED: 40.00 FT.

AVG. PROP. GROUND ELEV. OF BUILDING CORNERS (MAIN BUILDING)
 $(113.86 + 113.35 + 111.97 + 111.73 + 110.10 + 110.00 + 108.02 + 107.72 + 106.86 + 106.64) / 10 = 110.03$

PROP. MAX. BUILDING ELEVATION: 145.64

PROP. BUILDING HEIGHT = 145.64 - 110.03 = 35.61 FT.

DRY WELL CALCULATIONS:

TOTAL PROPOSED INCREASE IN IMPERVIOUS COVERAGE: 1,481.4 SF

TOTAL REQUIRED STORAGE VOLUME PER ORDINANCE SECTION 215-12.5B(2): 1,481.4 SF X 3" RAIN = 371 CF

TOTAL PROPOSED IMPERVIOUS TO DRYWELL SYSTEM: 1,481.4 SF

PROPOSED DRYWELL RETENTION VOLUME:

COVERAGE TO DRYWELL * 371 CF

PROPOSED DRYWELL STORAGE CAPACITY CALCULATIONS:

DIA: 8 FT (7.33 ID) DEPTH: 5.583 FT
 $(3.1414) * 7.33 * 7.33 * 5.583 = 236$ CF
 VOLUME OF PRECAST STRUCTURE : 236 CF

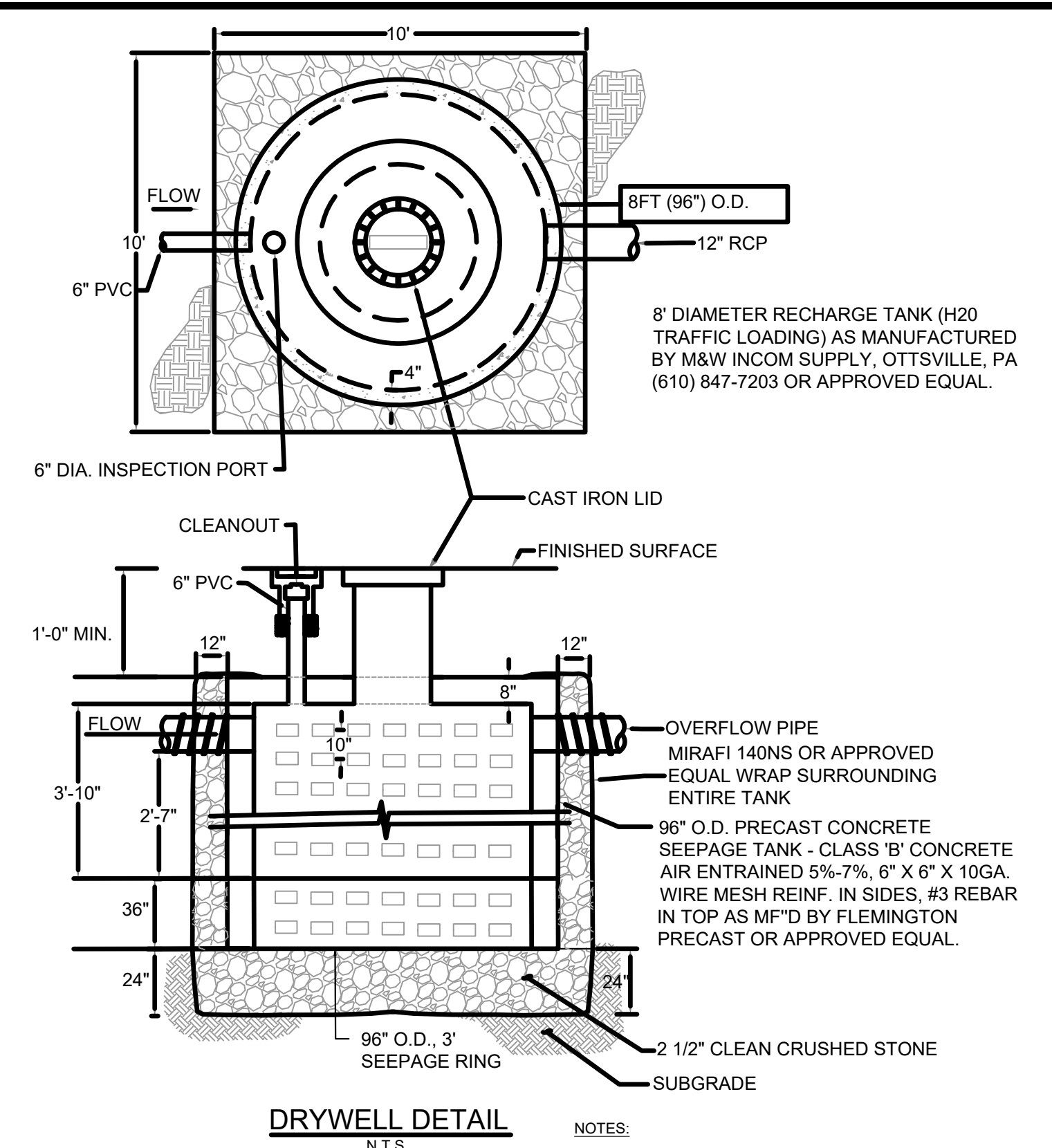
STONE VOID VOLUME (10 FT X 10 FT X 7.583 FT DEEP)

$10 * 10 * 7.583 = 758$ CF
 LESS OD OF DRY WELL (8 FT O.D.)
 $(3.1414) * 8 * 8 * 5.583 = 281$ CF

VOL. VOIDS: 0.33 * (758 - 281) = 157 CF

TOTAL STORAGE VOLUME: 236 + 157 CF = 393 CF

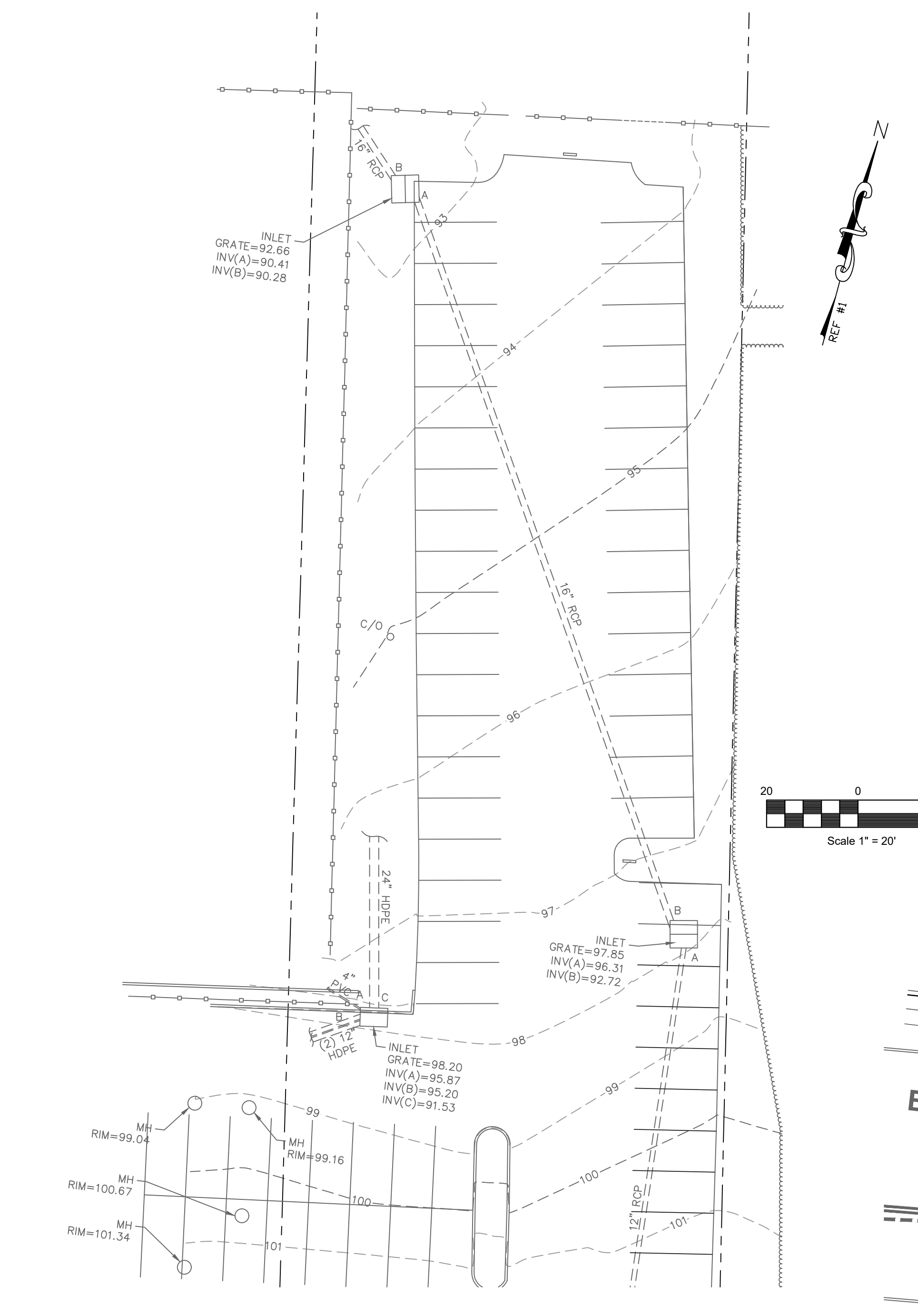
393 CF PROP. > 371 CF REQUIRED



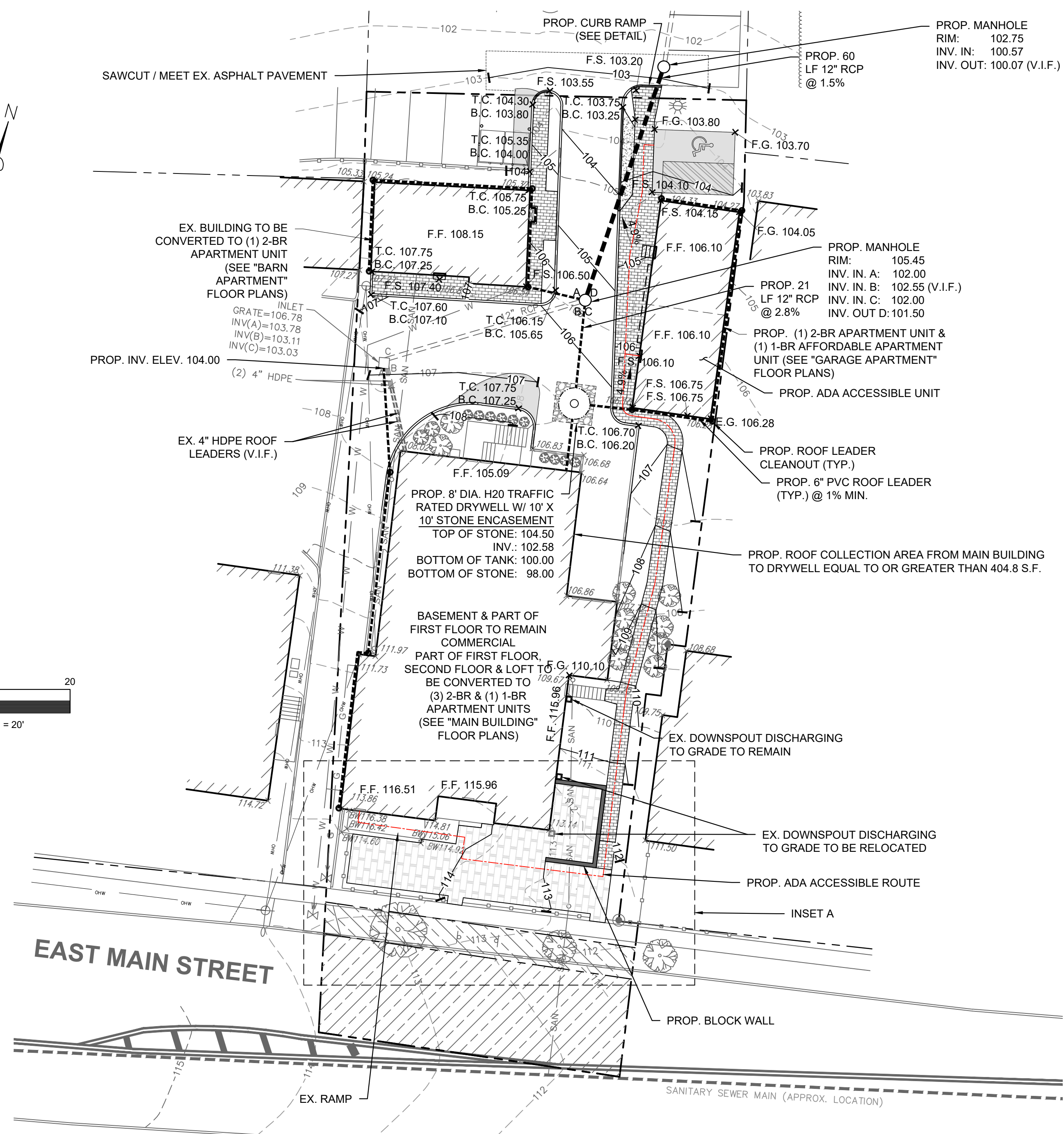
NOTES:

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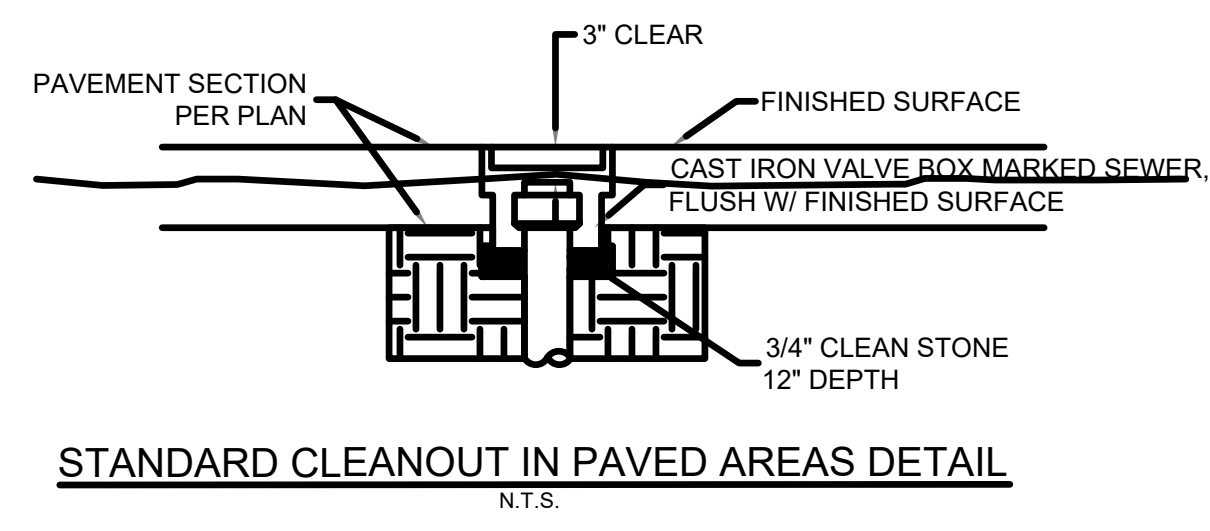
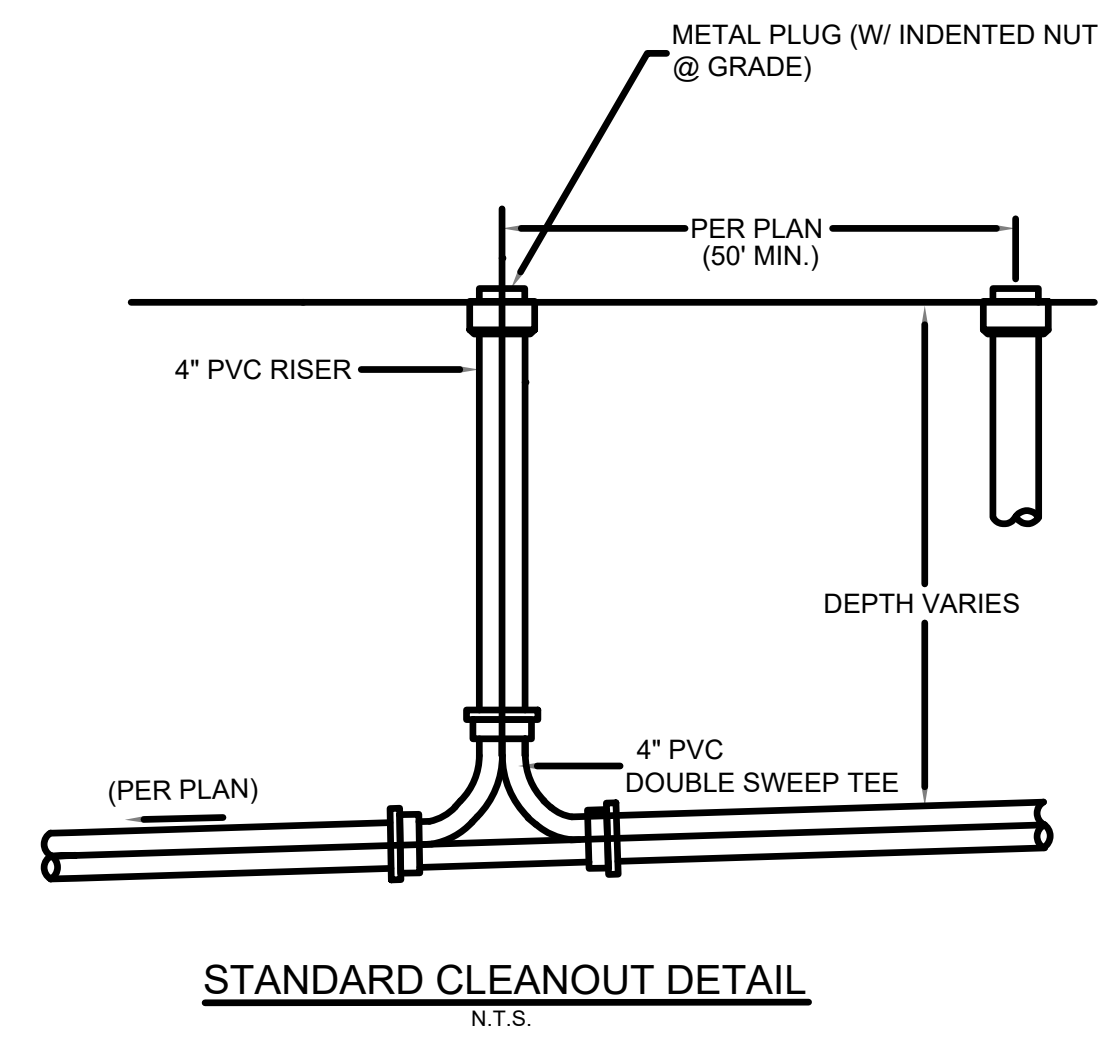
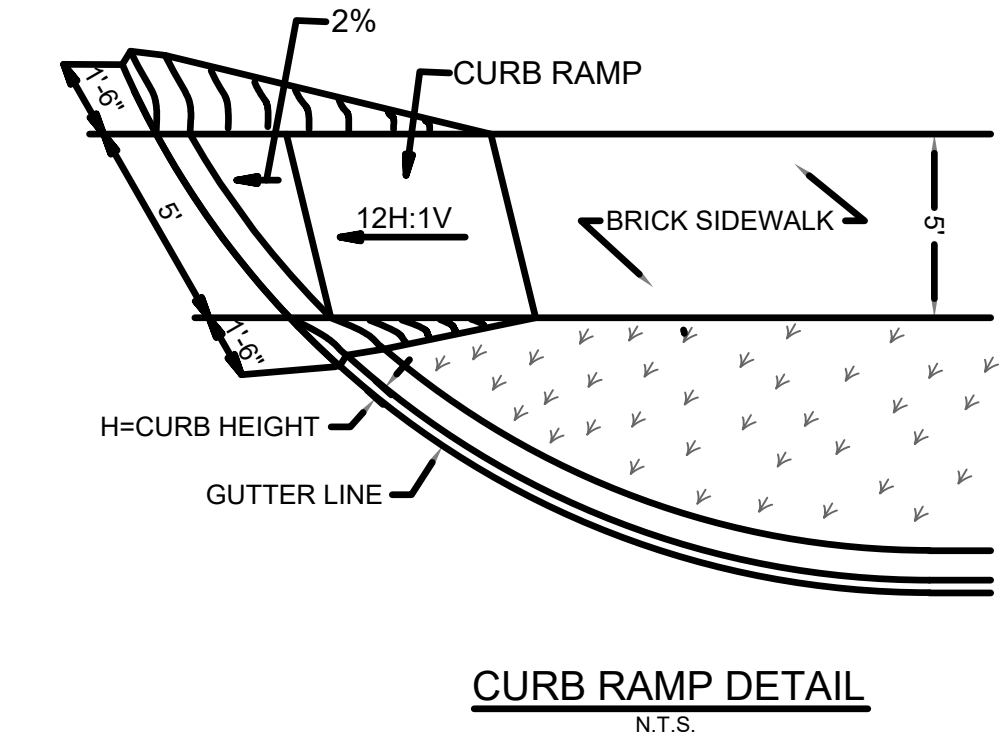
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MATCH LINE A-A



MATCH LINE A-A



NO.	REVISION	BY	DATE
3	REV. PER BOROUGH COMMENTS	EM	6/23/2020
2	REV. PER BOROUGH COMMENTS	EM	5/19/2020
1	REV. PER ENGINEER CERTIFICATION	EM	10/22/19

6/23/2020
DATE

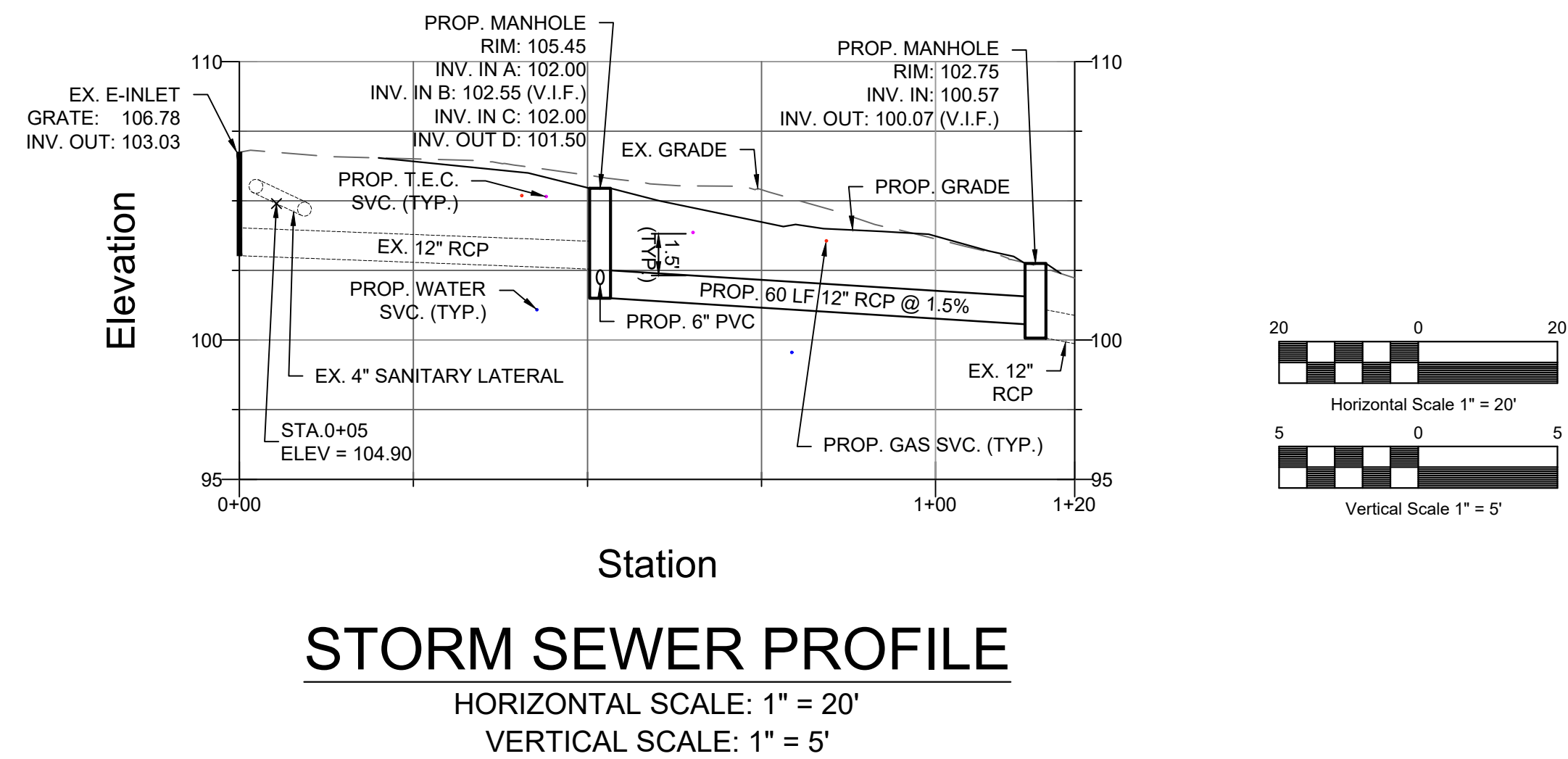
JOHN HANSEN
PROFESSIONAL ENGINEER
N.J. P.E. NO. 24GE04194500

PROJECT:
6 EAST MAIN STREET
PRELIMINARY AND FINAL
MAJOR SITE PLAN
BLOCK 601, LOT 3
MENDHAM BOROUGH
MORRIS COUNTY NEW JERSEY

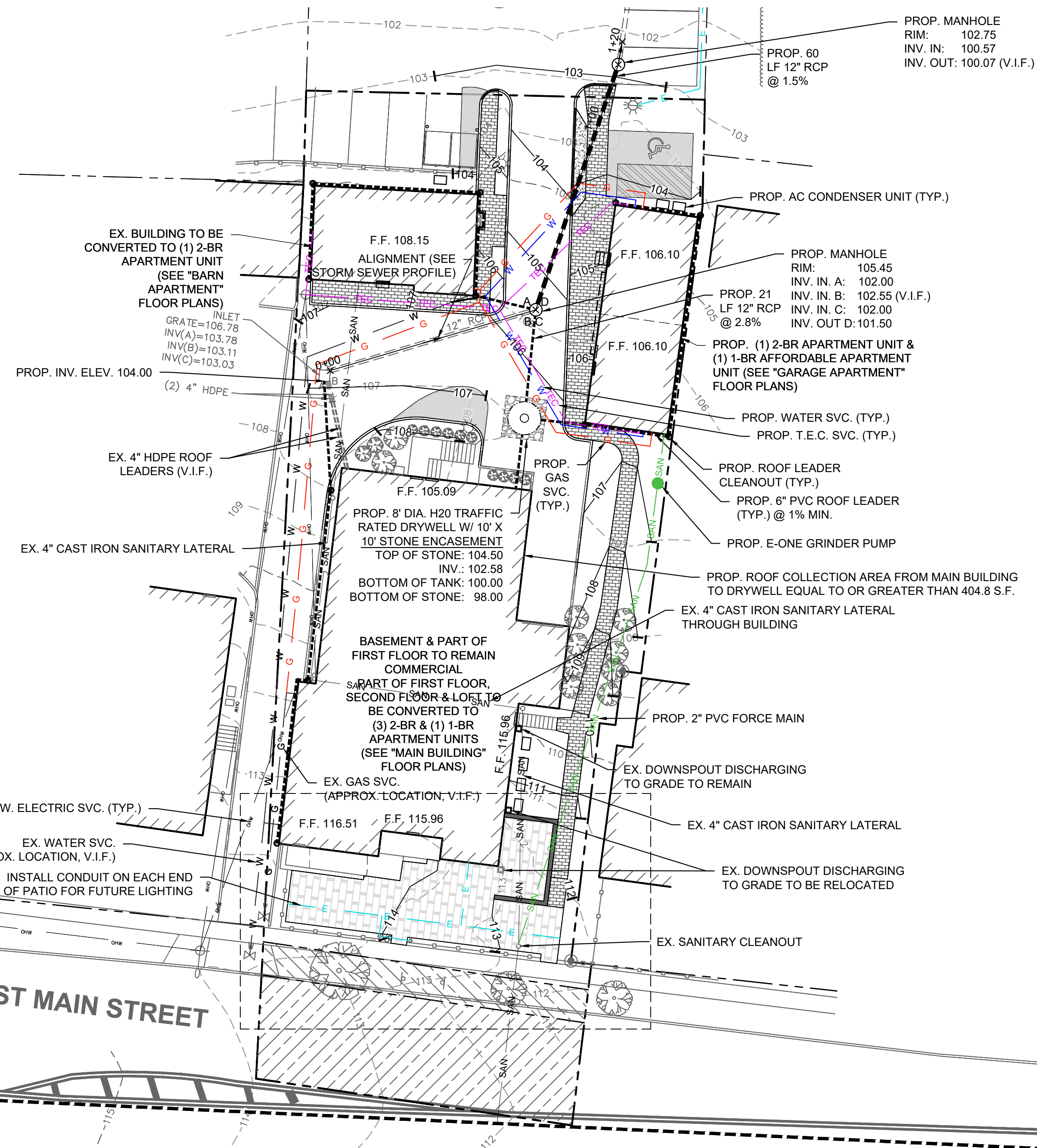
GRADING & DRAINAGE PLAN

JOB NO.:	19135	DRAWING NO.:	7
SCALE:	1"=20'		
DESIGNED:	EM		
CHECKED:	JH		
FILENAME:	GRADING_DRAINAGE.DWG		
DATE:	09/09/2019		14

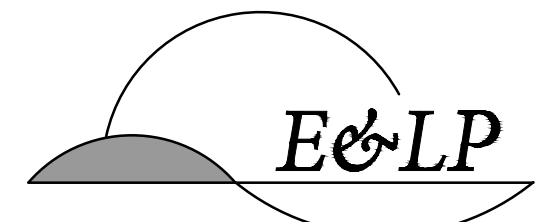
- NOTES:
1. CONTRACTOR TO VERIFY ALL EXISTING UNDERGROUND UTILITY LOCATIONS, ELEVATIONS, AND SIZES IN FIELD AND COORDINATE WITH ENGINEER PRIOR TO CONSTRUCTION.
 2. ALL PIPE CROSSINGS TO MAINTAIN 18" MINIMUM SEPARATION. PIPES SHALL HAVE PROPER ENCASUREMENT IF 18" SEPARATION IS NOT POSSIBLE. COORDINATE WITH ENGINEER.
 3. V.I.F. = CONTRACTOR TO VERIFY IN FIELD.
 4. EXISTING SANITARY LATERAL PIPE SIZE, MATERIALS, AND LOCATION FROM INSPECTION PERFORMED BY ROTO-ROOTER, PLUMBING & DRAIN SERVICE ON 5/15/2020.



MATCH LINE A-A



- NOTES:
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 PH. 908-238-0544 FAX. 908-238-9572
 A PROFESSIONAL ASSOCIATION
 CERTIFICATE OF AUTHORIZATION NO.: 24GA28021500 EXP. 8/31/2020

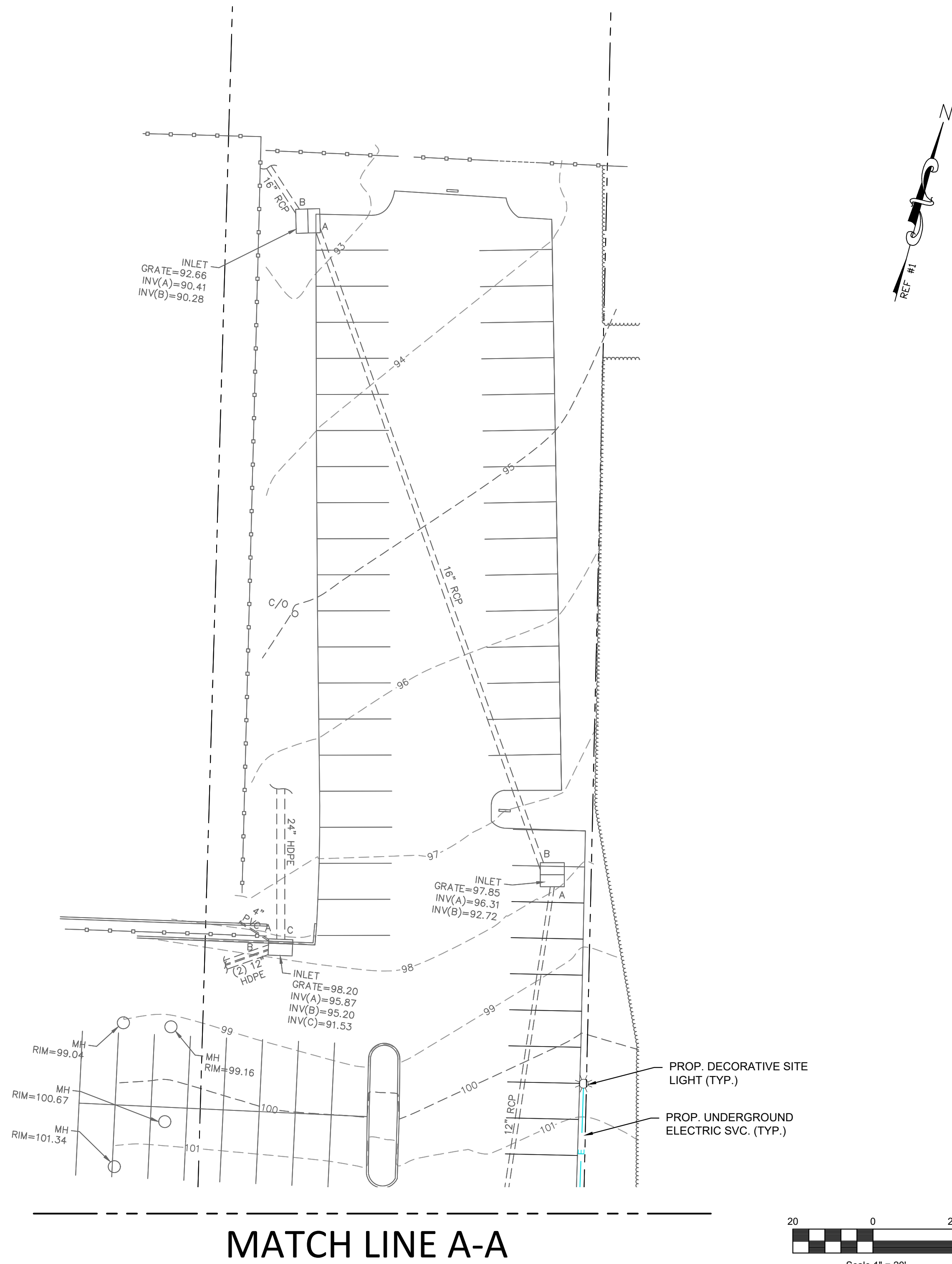
NO.	REVISION	BY	DATE
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2	REV. PER BOROUGH COMMENTS	EM	5/19/2020
1	REV. PER ENGINEER CERTIFICATION	EM	10/22/19

6/23/2020 DATE
 JOHN HANSEN
 PROFESSIONAL ENGINEER
 N.J. P.E. NO. 24GE04194500

PROJECT:
 6 EAST MAIN STREET
 PRELIMINARY AND FINAL
 MAJOR SITE PLAN
 BLOCK 601, LOT 3
 MENDHAM BOROUGH
 MORRIS COUNTY NEW JERSEY

TITLE:
UTILITY PLAN

JOB NO.:	19135	DRAWING NO.:	8 14
SCALE:	1"=20'		
DESIGNED:	EM		
CHECKED:	JH		
DATE:	09/09/2019		



Description	Symbol
Existing Building-Mounted Light	
Existing Sconce Light	
Existing Relocated Ground-Mounted Lights	
Existing Pole-Mounted Light	
Existing Pole-Mounted Light to be Removed	
Existing Decorative Site Light to be Removed	
Proposed Decorative Site Light	
Proposed Bollard Light	
Proposed Wall-Mounted Light	
Proposed Light Level (Footcandles)	+0.3

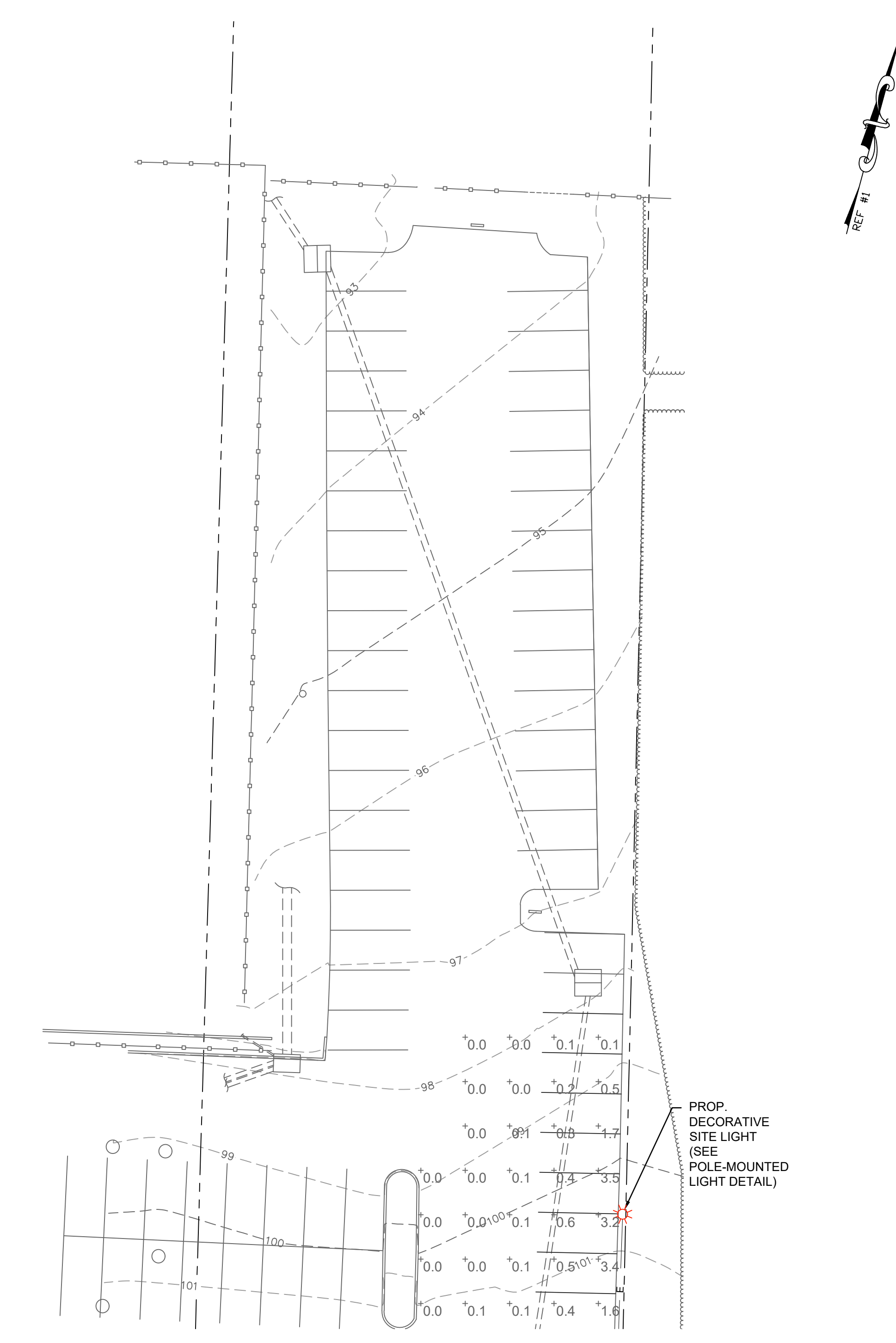
Symbol Label	Qty	Catalog #	Description	Lamp	LLF	Watts	Mounting
	3	STERNBERG LIGHTING CARSON CITY SERIES 1843LED-12L40T2-MDL008-SV1-BLOC	TRADITIONALLY STYLED LANTERN W/ SHIELDED LIGHT SOURCE & OPTICS, FROSTED GLASS CHIMNEY, POST TOP, BLACK TEXTURED FINISH	LUXEON 50-50 SERIES, LED1 optic	0.90	26.5	POLE-MOUNTED
	3	E260LED-CA-IRND45T2-MDL03	EURO SERIES E250 LED, CLEAR ACRYLIC BODY LENS, TYPE 2	26 LEDS	0.90	30.9	BOLLARD
	2	STERNBERG LIGHTING CARSON CITY SERIES 1843LED-12L40T2-MDL008-SV1-BLOC	1843LED CARSON CITY FIXTURE, ROOF MOUNTED LED PLATE, TYPE 2, SOFT VUE 1	2L 40T2-MDL008-SV1	0.90	26.5	WALL-MOUNTED

LIGHTING NOTE

* LIGHT LEVELS SHOWN IN FOOTCANDLES PER PROPOSED LIGHTING ONLY (EXCLUSIVE OF PROPOSED SCONCE LIGHTING).

LANDSCAPING NOTES:

- ALL PLANT MATERIALS SHALL BE OF NURSERY STOCK AND SHALL BE OF SYMMETRICAL GROWTH, FREE OF INSECTS, PESTS AND DISEASE. THE OWNER OR HIS REPRESENTATIVE RESERVES THE RIGHT TO INSPECT AND APPROVE ALL PLANT MATERIALS AND REJECT ANY PLANTS FOUND TO BE UNACCEPTABLE.
- DAMAGE TO EXISTING OR NEW WORK BY CONTRACTOR SHALL BE REPAIRED AT HIS EXPENSE.
- CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH ALL UNDERGROUND UTILITIES AND NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO THE SUBMISSION OF BIDS.
- REFER TO MECHANICAL AND SITE DRAWINGS FOR UTILITY INFORMATION. CONTRACTOR SHALL VERIFY PLANT LIST QUANTITIES INDICATED ON PLANS AND NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES IN QUANTITIES PRIOR TO SUBMISSION OF BIDS.
- THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY WITH REGARDS TO THE CARTING, STORING AND PLANTING OF MATERIALS TO PROTECT ADJACENT PAVEMENT AREAS.
- THE CONTRACTOR SHALL ENSURE THAT ALL PLANT MATERIALS SHALL ARRIVE AT THE SITE WITH ROOT BALL AND BURLAP INTACT.
- THE CONTRACTOR SHALL PRUNE ALL NEW MATERIAL REMOVING APPROXIMATELY ONE-THIRD OF THE GROWTH AND REMOVE ALL DEAD AND BROKEN CANES AND BRANCHES. GRADE NEW PLANTING AREAS TO MAINTAIN THE EXISTING DRAINAGE PATTERN.
- ALL TOPSOIL SHALL BE PER HCSOCD REQUIREMENTS. SEE NOTES ON SCD PLAN.
- THE CONTRACTOR SHALL INSTALL ALL PLANT MATERIALS PER THE PLANTING DETAILS.
- ALL PLANT HOLES SHALL BE BACKFILLED WITH A MIXTURE OF 3 PARTS TOPSOIL TO 1 PART PEATMOSS UNLESS SPECIFIED ON PLAN. ALL PLANTING BEDS TO BE MULCHED WITH 4 INCHES CLEAN FRESH SHREADED HARDWOOD BARK, FREE OF STICKS, LEAVES AND OTHER FOREIGN MATERIALS.
- ALL PLANT MATERIAL SHALL CONFORM TO THE HORTICULTURAL STANDARDS AS SET FORTH BY THE AMERICAN NURSERYMEN AND LANDSCAPING ASSOCIATION (ANLA 2000). CONTRACTOR SHALL REMOVE ALL NON-BIODEGRADABLE ROOT WRAPPING PRIOR TO PLANTING.
- TOPSOIL AND SEED ALL DISTURBED AREAS AS A RESULT OF ANY AND ALL CONSTRUCTION OR AREAS OF EQUIPMENT STORAGE EQUIPMENT. CONTRACTOR SHALL FIELD VERIFY AREAS OF SEEDING. PROVIDE TOPSOIL TO 6" DEPTH IN ALL LAWN AREA AND 20" DEPTH IN SHRUB BEDS AND GARDEN.
- ALL REMAINING DISTURBED AREAS SHALL BE SEEDED UNLESS NOTED OTHERWISE. SEE SEEDING PREPARATION NOTES. ALL LAWN AREAS TO BE FERTILIZED PRIOR TO FINAL SEEDING WITH A 10-6-4 FERTILIZER AT THE RATE OF 20 LBS/1000 SF. IN TWO APPLICATIONS.



MATCH LINE A-A

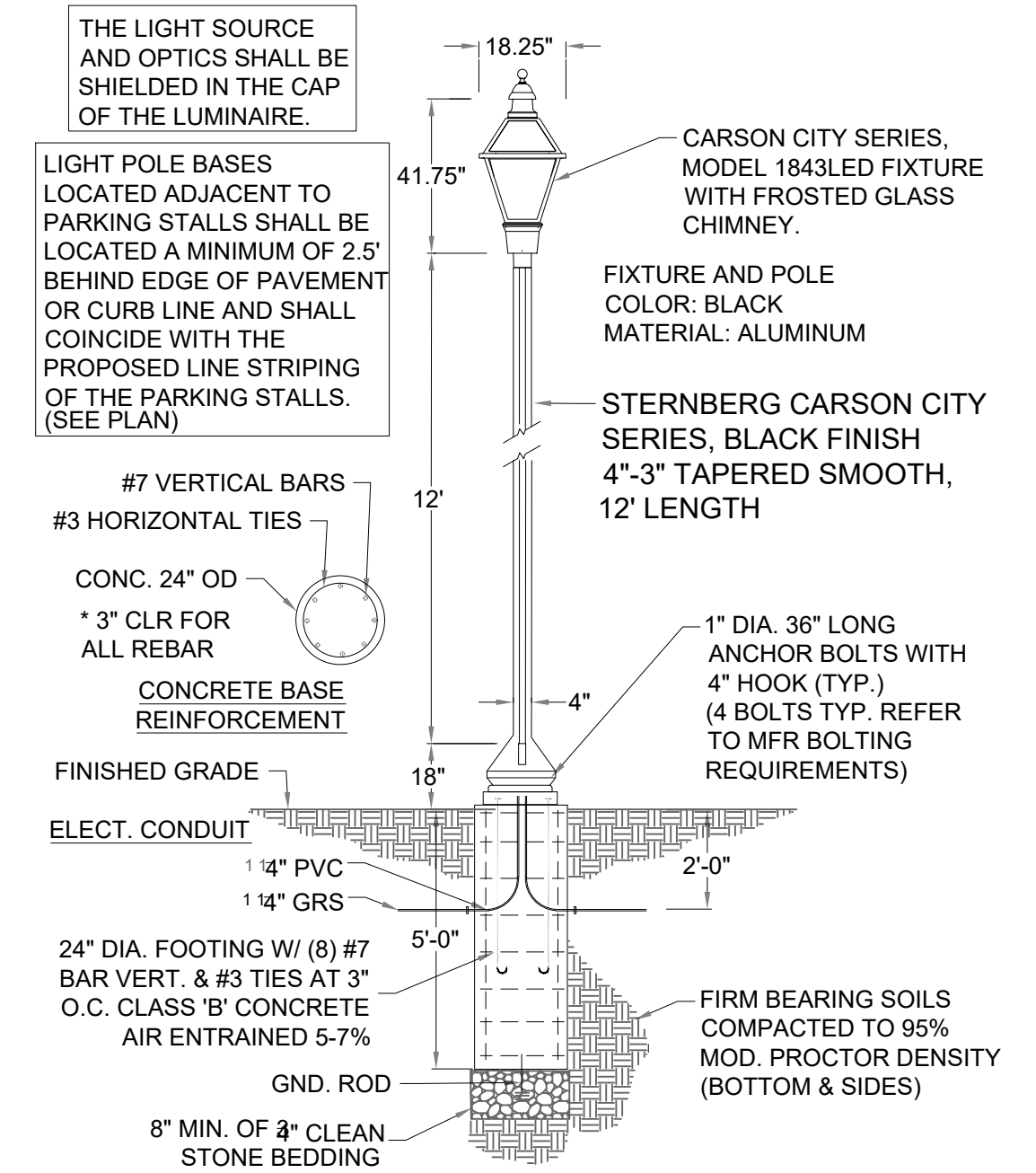
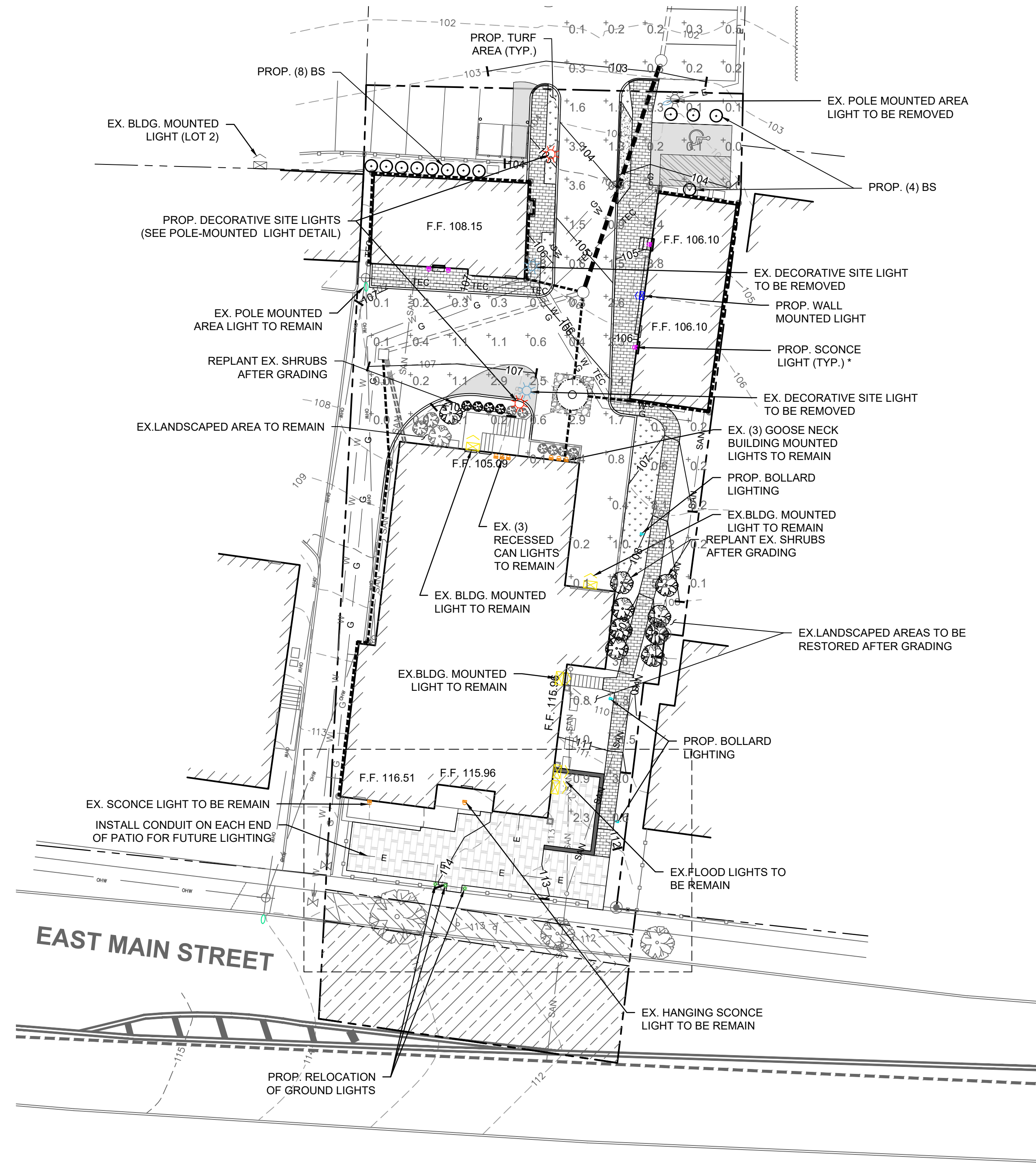
DESIGN WAIVER

195 - 57.5G: LIGHTING LEVELS AT ALL PROPERTY LINES SHALL NOT EXCEED 0.1 FOOTCANDLE EXCEPT WHERE DRIVEWAYS MEET A PUBLIC STREET.

WAIVER REQUESTED FOR LIGHTING LEVELS AT PROPERTY LINES TO EXCEED 0.1 FOOT CANDLE DUE TO THE PROXIMITY OF THE RESIDENTIAL UNITS AND EXISTING PARKING STALLS TO THE PROPERTY LINES.

SYMBOL	QTY.	COMMON NAME	BOTANICAL NAME	HEIGHT	SPREAD	SPACING	NOTES
SHRUBS							
BS	12	AMERICAN BOXWOOD-UPRIGHT	BUXUS SEMPERVIRENS	2'-4'	3'-4'	SEE PLAN	

MATCH LINE A-A



STERNBERG LIGHTING POLE & FIXTURE DETAIL
(OR APPROVED EQUAL) (N.T.S.)

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A PROFESSIONAL ASSOCIATION		
CERTIFICATE OF AUTHORIZATION NO.: 24GA28021500 EXP. 8/31/2020		
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2	REV. PER BOROUGH COMMENTS	EM 5/19/2020
1	REV. PER ENGINEER CERTIFICATION	EM 10/22/19
NO.	REVISION	BY DATE

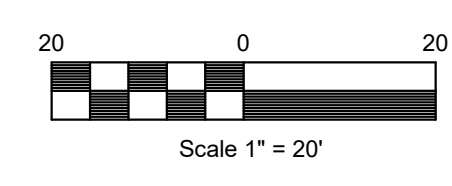
6/23/2020
DATE

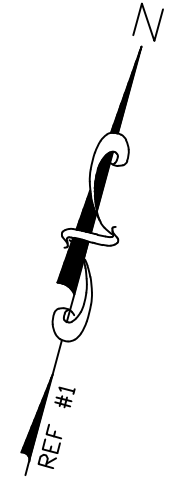
JOHN HANSEN
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N.J. P.E. NO. 24GE04194500

PROJECT:
6 EAST MAIN STREET
PRELIMINARY AND FINAL
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MORRIS COUNTY NEW JERSEY

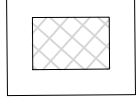


LANDSCAPING & LIGHTING PLAN

JOB NO.:	19135	DRAWING NO.:	9 14
SCALE:	1"=20'		
DESIGNED:	EM		
CHECKED:	JH		
FILENAME:	LIGHTING.DWG		
DATE:	09/09/2019		

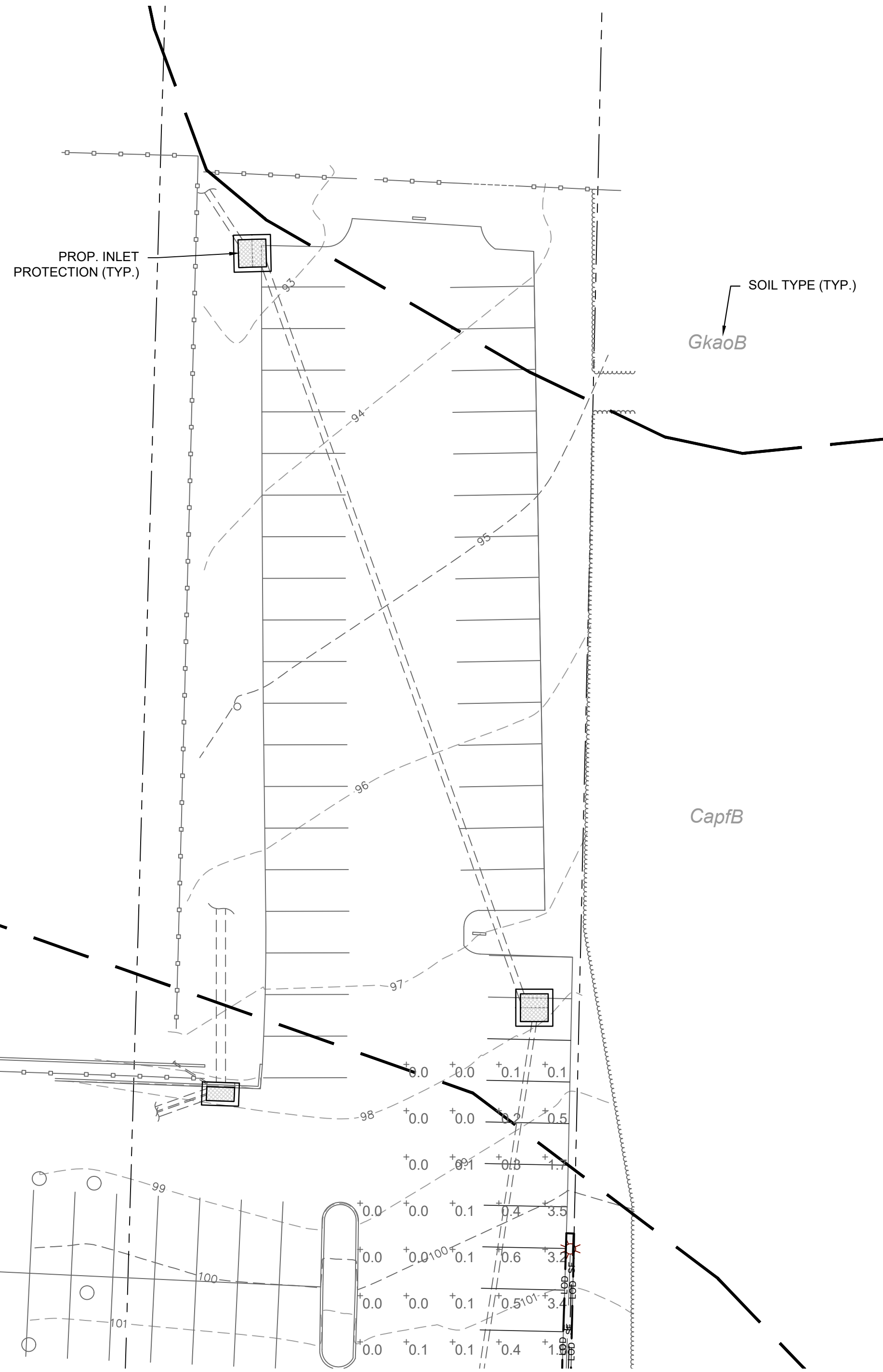




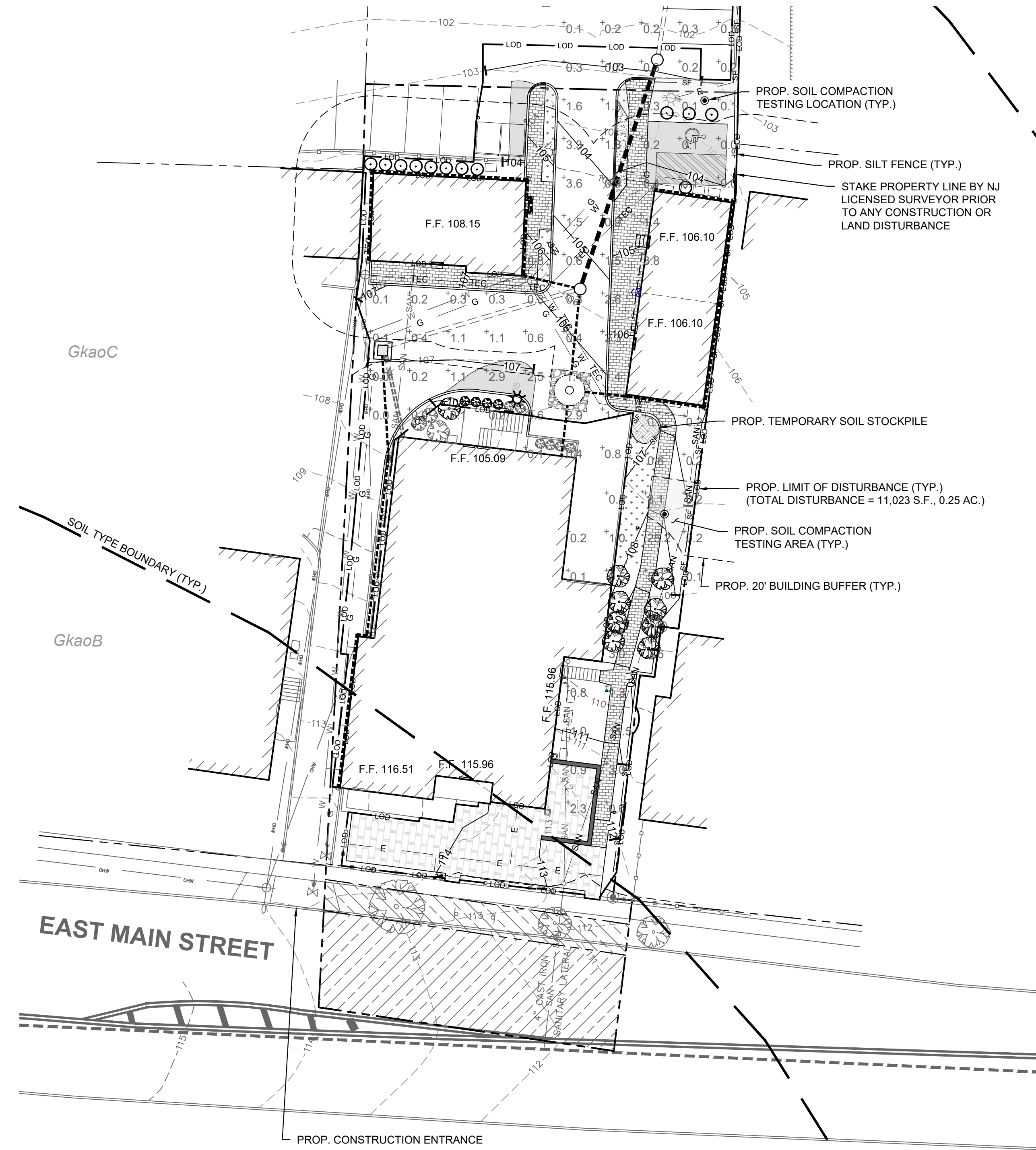
LEGEND

- SF — SF — SILT FENCE
- LOD — LOD — LIMIT OF DISTURBANCE
- — — — — SOIL TYPE BOUNDARY
- USWAFB SOIL TYPE
-  INLET PROTECTION
-  SOIL COMPACTION TESTING AREA
-  SOIL COMPACTION TESTING LOCATION

MATCH LINE A-A



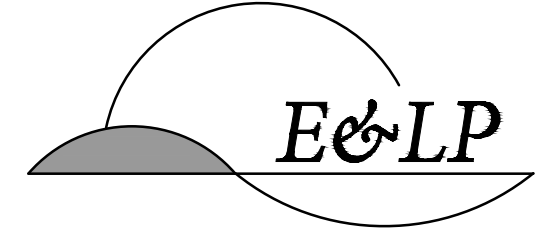
MATCH LINE A-A



NOTES:

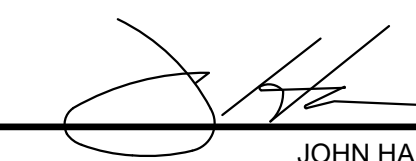
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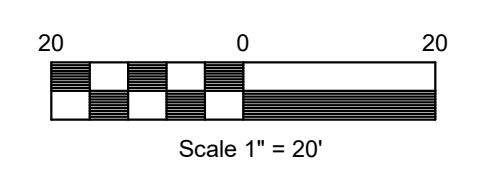
NO.	REVISION	BY	DATE
3	REV. PER BOROUGH COMMENTS	EM	6/23/2020
2	REV. PER BOROUGH COMMENTS	EM	5/19/2020
1	REV. PER ENGINEER CERTIFICATION	EM	10/22/19

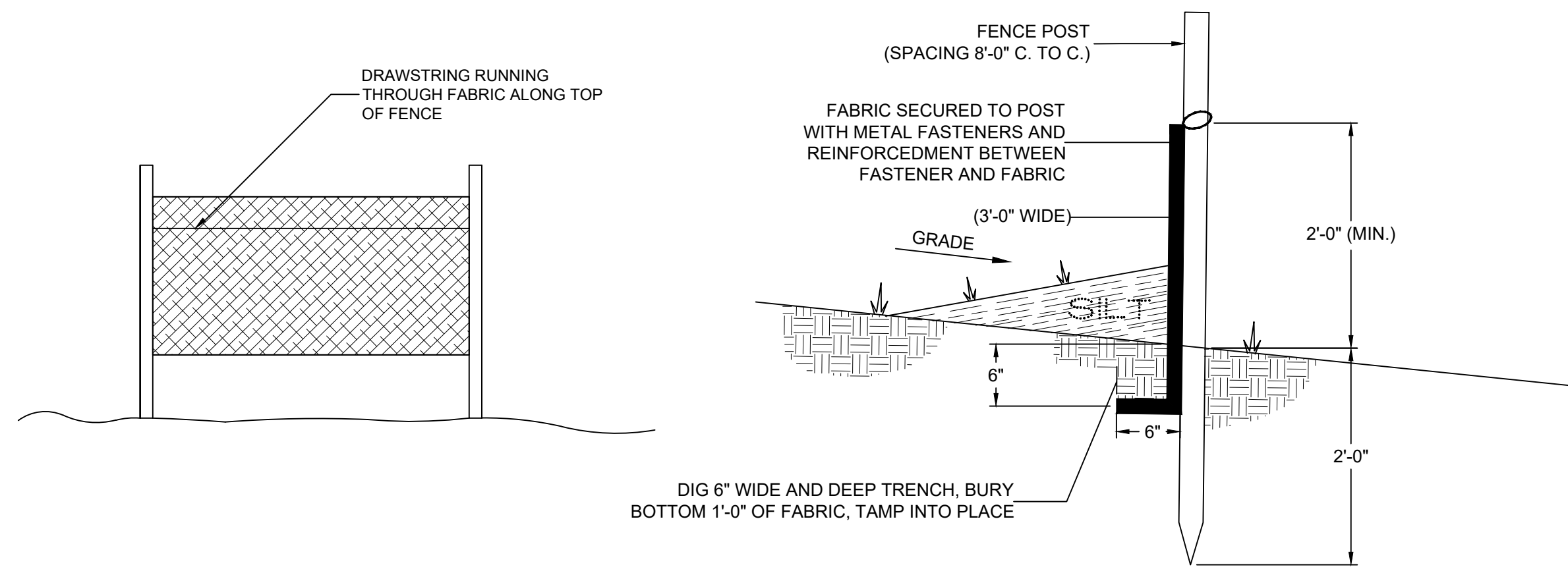
6/23/2020 DATE 
 JOHN HANSEN
 PROFESSIONAL ENGINEER
 N.J. P.E. NO. 24GE04194500

PROJECT:
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 MORRIS COUNTY NEW JERSEY

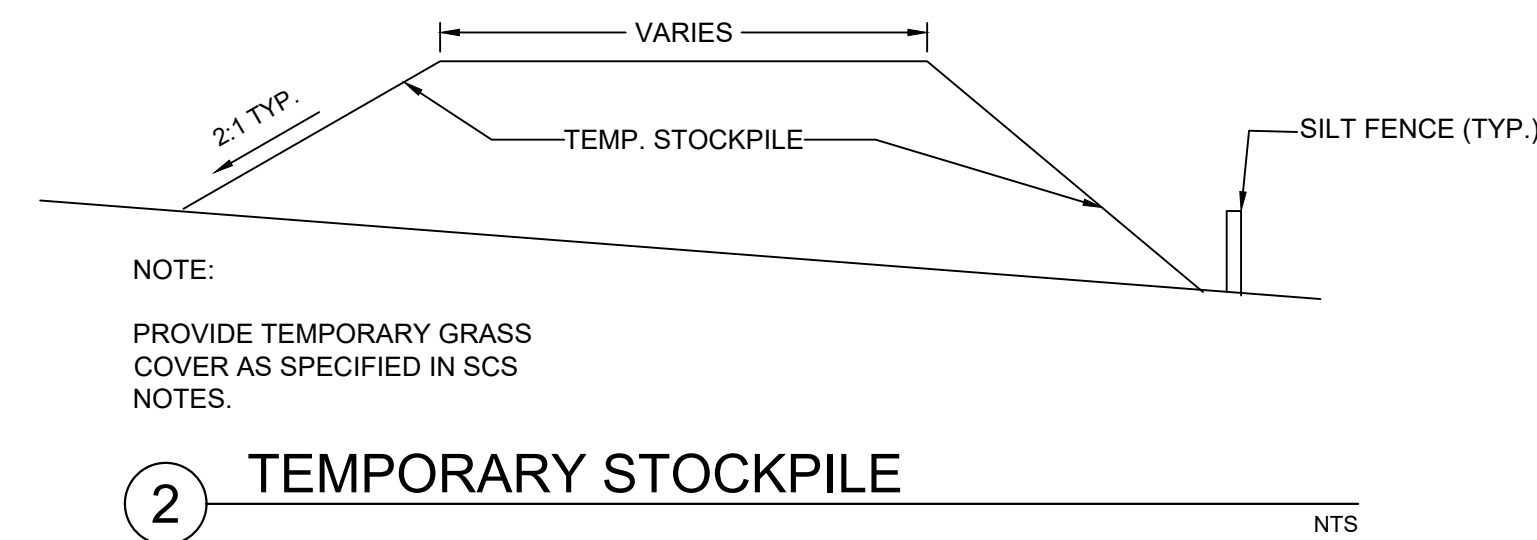
TITLE:
 SOIL EROSION &
 SEDIMENT CONTROL PLAN

JOB NO.:	19135	DRAWING NO.:	10 14
SCALE:	1"=20'		
DESIGNED:	EM		
CHECKED:	JH		
FILENAME:	EROSION.DWG		
DATE:	09/09/2019		

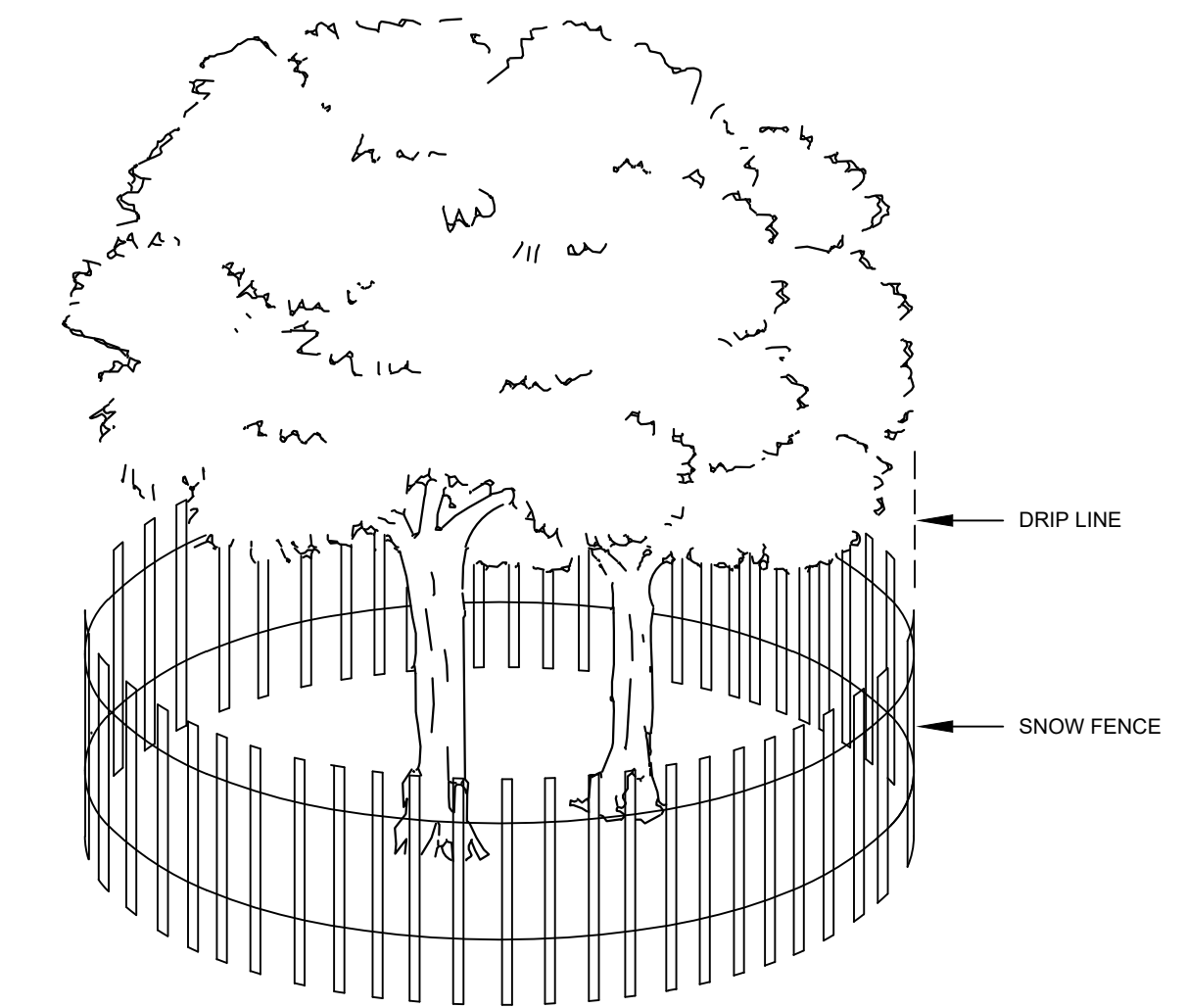




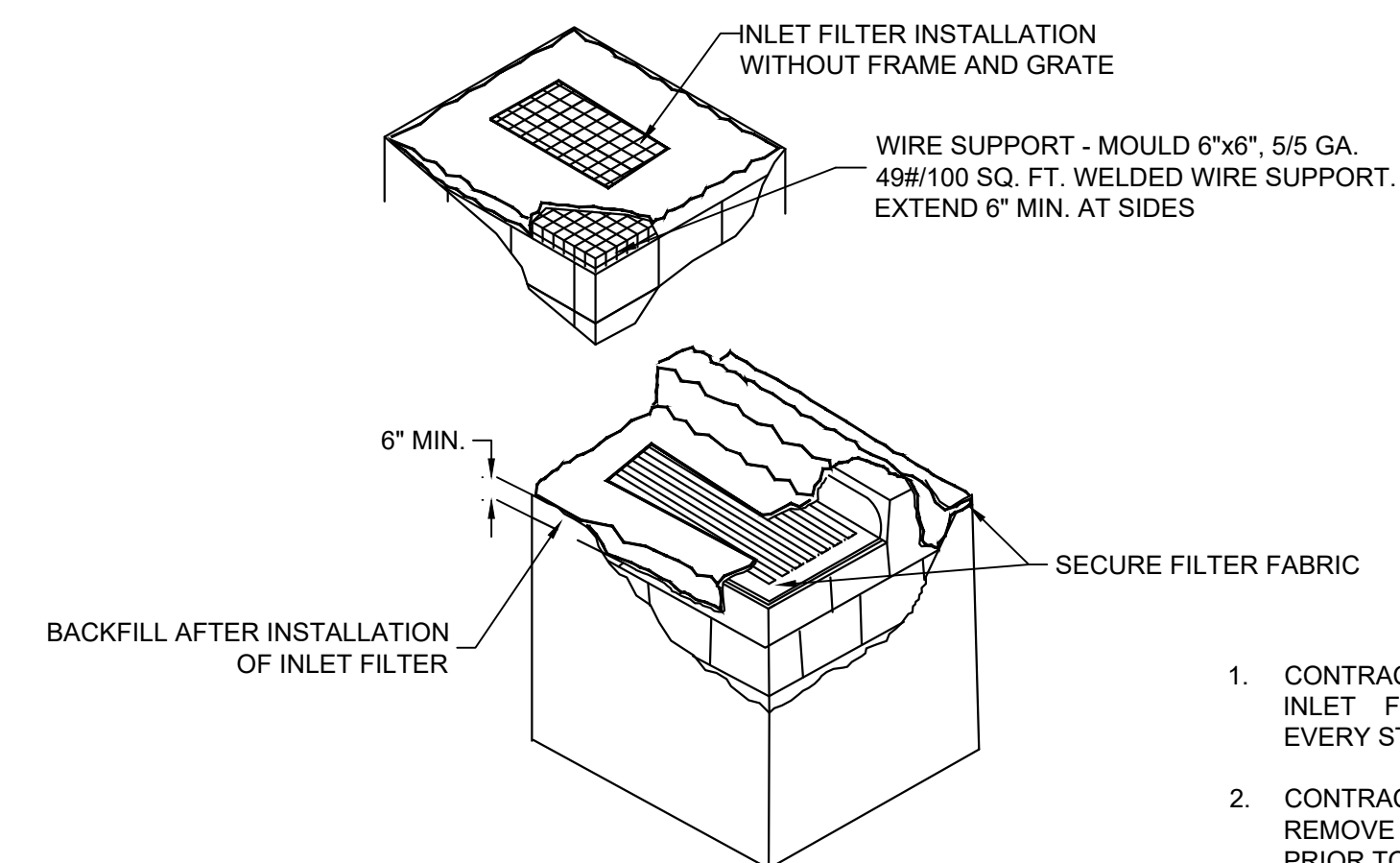
1 SILT FENCE DETAIL



2 TEMPORARY STOCKPILE



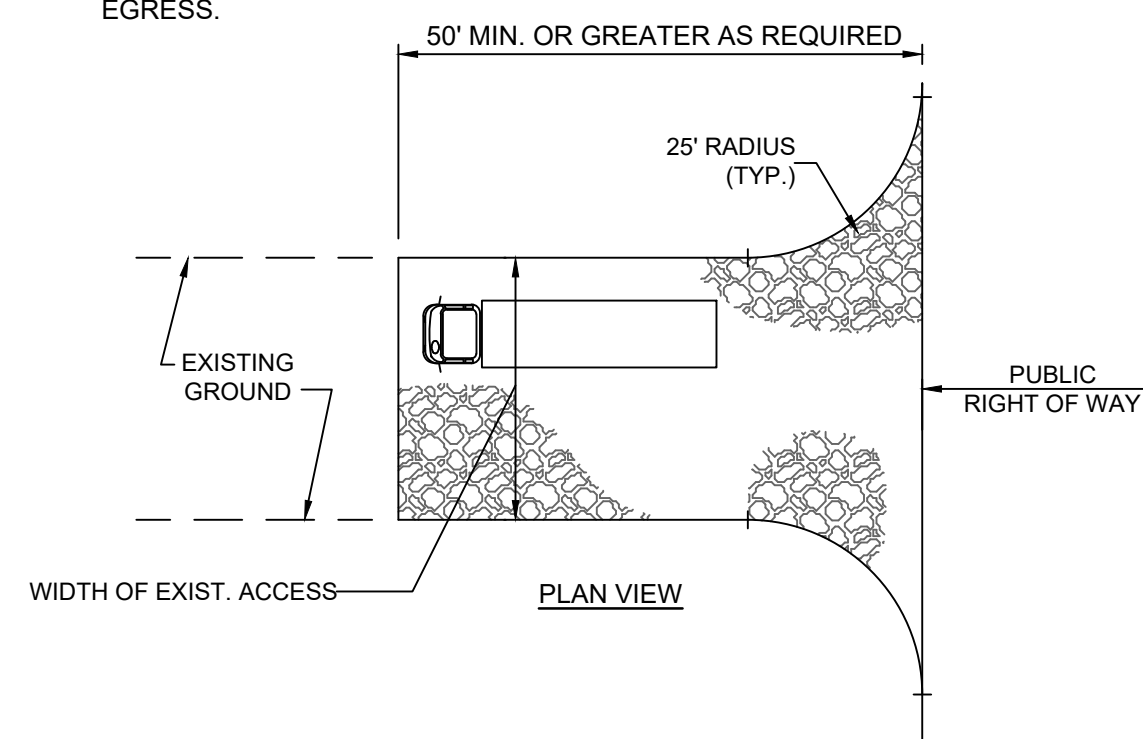
3 TREE PROTECTION DETAIL



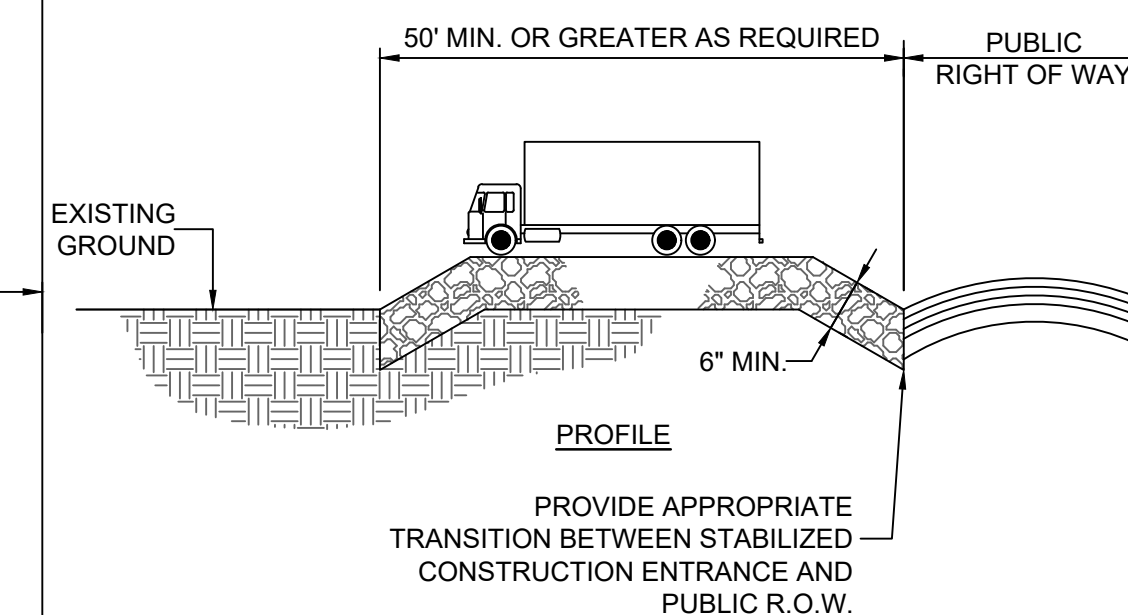
1. CONTRACTOR IS TO CLEAN INLET FILTER AFTER EVERY STORM.
2. CONTRACTOR IS TO REMOVE FABRIC JUST PRIOR TO PAVING.

4 INLET FILTER DETAIL

DESIGN CRITERIA
 STONE SIZE - USE ASTM C-33, SIZE No. 2 (2 1/2 TO 1 1/2") OR 3 (2 TO 1"). USE CLEAN CRUSHED ANGULAR STONE. CRUSHED CONCRETE OF SIMILAR SIZE MAY BE SUBSTITUTED BUT WILL REQUIRE MORE FREQUENT UPGRADING AND MAINTENANCE. THICKNESS-NOT LESS THAN SIX (6) INCHES. WIDTH-NOT LESS THAN FULL WIDTH OF POINTS OF INGRESS OR EGRESS.



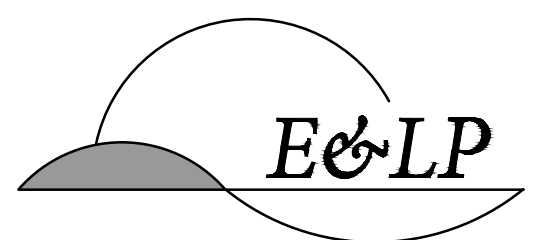
MAINTENANCE
 THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO ROADWAYS. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE OR ADDITIONAL LENGTH AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO ROADWAYS (PUBLIC OR PRIVATE) OR OTHER IMPERVIOUS SURFACES MUST BE REMOVED IMMEDIATELY.
 WHERE ACCUMULATION OF DUST/SEDIMENT IS INADEQUATELY CLEANED OR REMOVED BY CONVENTIONAL METHODS, A POWER BROOM OR STREET SWEEPER WILL BE REQUIRED TO CLEAN PAVED OR IMPERVIOUS SURFACES. ALL OTHER ACCESS POINTS WHICH ARE NOT STABILIZED SHALL BE BLOCKED OFF.



5 STABILIZED CONSTRUCTION ACCESS

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 JOHN HANSEN
 PROFESSIONAL ENGINEER
 N.J. P.E. NO. 24GE04194500

PROJECT:
 6 EAST MAIN STREET
 PRELIMINARY AND FINAL
 MAJOR SITE PLAN
 BLOCK 601, LOT 3
 MENDHAM BOROUGH
 MORRIS COUNTY NEW JERSEY

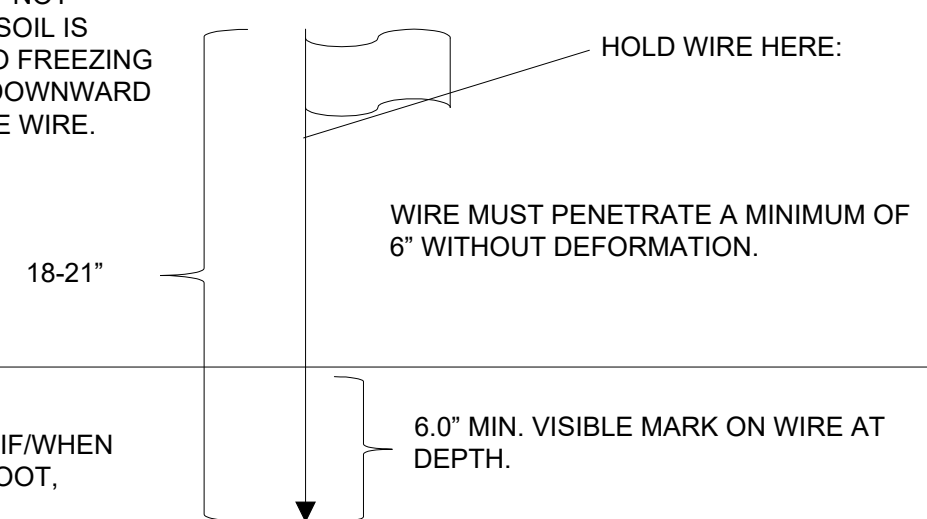
TITLE:
SOIL EROSION & SEDIMENT CONTROL DETAILS

JOB NO.:	19135	DRAWING NO.:	12
SCALE:	AS SHOWN		
DESIGNED:	EM		
CHECKED:	JH		
FILENAME:	DETAILS.DWG		
DATE:	09/09/2019		14

SIMPLIFIED TESTING METHODS

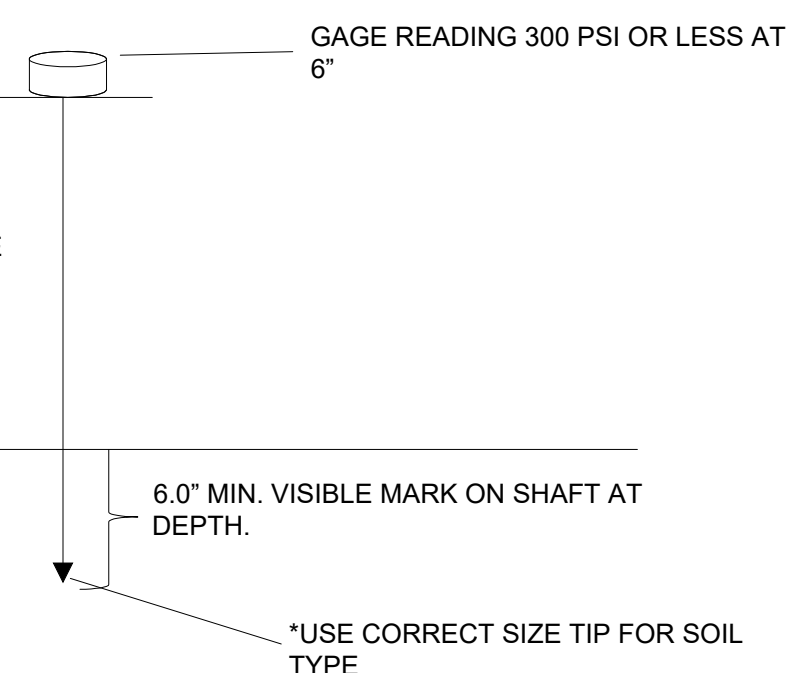
PROBING WIRE TEST- 15.5 GA STEEL WIRE (SURVEY FLAG)

NOTE: SOIL SHOULD BE MOIST BUT NOT SATURATED. DO NOT TEST WHEN SOIL IS EXCESSIVELY DRY OR SUBJECT TO FREEZING TEMPERATURES. SLOW, STEADY DOWNWARD PRESSURE USED TO ADVANCE THE WIRE.



HANDHELD SOIL PENETROMETER TEST

NOTE: SOIL SHOULD BE MOIST BUT NOT SATURATED. DO NOT TEST WHEN SOIL IS EXCESSIVELY DRY OR SUBJECT TO FREEZING TEMPERATURES. SLOW, STEADY DOWNWARD PRESSURE USED TO ADVANCE THE PROBE. PROBE MUST PENETRATE AT LEAST 6" WITH LESS THAN 300 PSI READING ON THE GAGE.



SOIL DE-COMPACTION AND TESTING REQUIREMENTS

SOIL COMPACTION TESTING REQUIREMENTS

1. SUBGRADE SOILS PRIOR TO THE APPLICATION OF TOPSOIL (SEE PERMANENT SEEDING AND STABILIZATION NOTES FOR TOPSOIL REQUIREMENTS) SHALL BE FREE OF EXCESSIVE COMPACTION TO A DEPTH OF 6.0 INCHES TO ENHANCE THE ESTABLISHMENT OF PERMANENT VEGETATIVE COVER.
2. AREAS OF THE SITE WHICH ARE SUBJECT TO COMPACTION TESTING AND/OR MITIGATION ARE GRAPHICALLY DENOTED ON THE CERTIFIED SOIL EROSION CONTROL PLAN.
3. COMPACTION TESTING LOCATIONS ARE DENOTED ON THE PLAN. A COPY OF THE PLAN OR PORTION OF THE PLAN SHALL BE USED TO MARK LOCATIONS OF TESTS, AND ATTACHED TO THE COMPACTION REMEDIATION FORM, AVAILABLE FROM THE LOCAL SOIL CONSERVATION DISTRICT. THIS FORM MUST BE FILLED OUT AND SUBMITTED PRIOR TO RECEIVING A CERTIFICATE OF COMPLIANCE FROM THE DISTRICT.
4. IN THE EVENT THAT TESTING INDICATES COMPACTION IN EXCESS OF THE MAXIMUM THRESHOLDS INDICATED FOR THE SIMPLIFIED TESTING METHODS (SEE DETAILS BELOW), THE CONTRACTOR/OWNER SHALL HAVE THE OPTION TO PERFORM EITHER (1) COMPACTION MITIGATION OVER THE ENTIRE MITIGATION AREA DENOTED ON THE PLAN (EXCLUDING EXEMPT AREAS), OR (2) PERFORM ADDITIONAL MORE DETAILED TESTING TO ESTABLISH THE LIMITS OF EXCESSIVE COMPACTION WHEREUPON ONLY THE EXCESSIVELY COMPACTED AREAS WOULD REQUIRE COMPACTION MITIGATION. ADDITIONAL DETAILED TESTING SHALL BE PERFORMED BY A TRAINED, LICENSED PROFESSIONAL.

COMPACTION TESTING METHODS

- A. PROBING WIRE TEST (SEE DETAIL)
- B. HAND-HOLD PENETROMETER TEST (SEE DETAIL)
- C. TUBE BULK DENSITY TEST (LICENSED PROFESSIONAL ENGINEER REQUIRED)
- D. NUCLEAR DENSITY TEST (LICENSED PROFESSIONAL ENGINEER REQUIRED)

NOTE: ADDITIONAL TESTING METHODS WHICH CONFORM TO ASTM STANDARDS AND SPECIFICATIONS, AND WHICH PRODUCE A DRY WEIGHT, SOIL BULK DENSITY MEASUREMENT MAY BE ALLOWED SUBJECT TO DISTRICT APPROVAL.

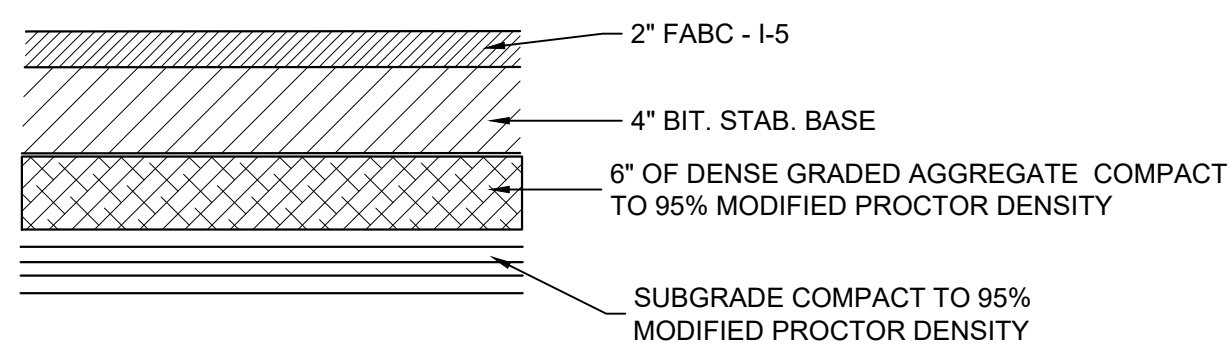
SOIL COMPACTION TESTING IS NOT REQUIRED IF/WHEN SUBSOIL COMPACTION REMEDIATION (SCARIFICATION/TILLAGE (6" MINIMUM DEPTH) OR SIMILAR) IS PROPOSED AS PART OF THE SEQUENCE OF CONSTRUCTION.

PROCEDURES FOR SOIL COMPACTION MITIGATION

PROCEDURES SHALL BE USED TO MITIGATE EXCESSIVE SOIL COMPACTION PRIOR TO PLACEMENT OF TOPSOIL AND ESTABLISHMENT OF PERMANENT VEGETATIVE COVER.

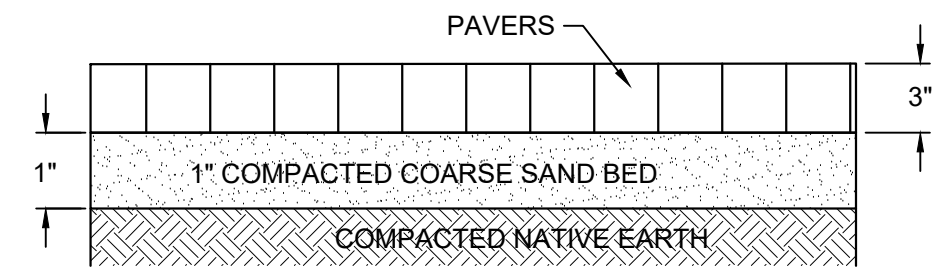
RESTORATION OF COMPACTED SOILS SHALL BE THROUGH DEEP SCARIFICATION/TILLAGE (6" MINIMUM DEPTH) WHERE THERE IS NO DANGER TO UNDERGROUND UTILITIES (CABLES, IRRIGATION SYSTEMS, ETC.), IN THE ALTERNATIVE, ANOTHER METHOD AS SPECIFIED BY A NEW JERSEY LICENSED PROFESSIONAL ENGINEER MAY BE SUBSTITUTED SUBJECT TO DISTRICT APPROVAL.

6 SOIL COMPACTION DETAILS



1 BITUMINOUS PAVING DETAIL

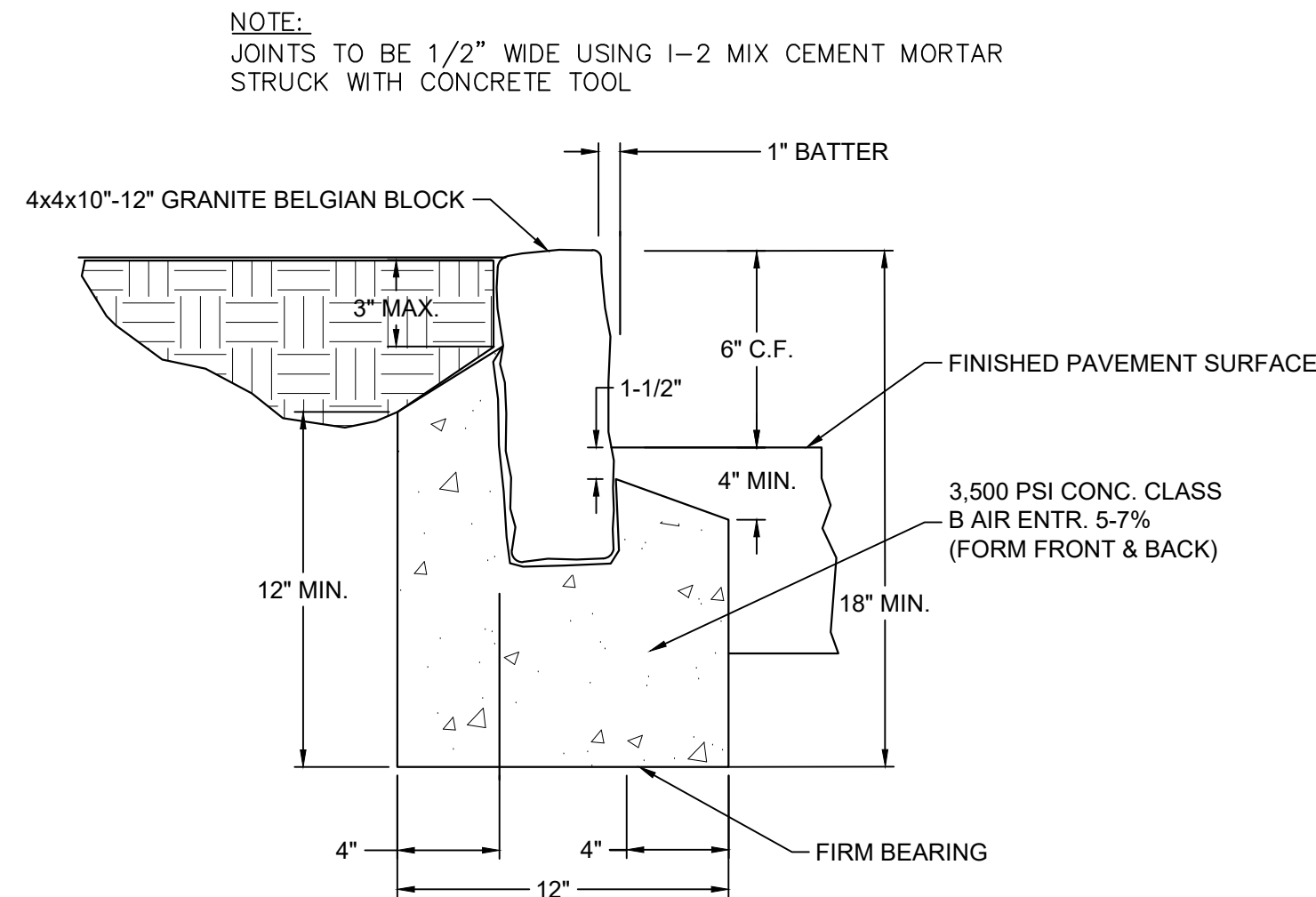
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- NOTES:
1. PLATE COMPACTOR TO BE USED TO COMPACT SAND BED AND TO LEVEL PAVERS UPON INSTALLATION.
 2. EDGE RESTRAINTS TO BE INSTALLED ALONG LENGTH OF WALK WITHIN GRASSED AREAS.
 3. PAVER VOIDS TO BE FILLED WITH JOINTING SAND TO PREVENT SHIFTING
 4. SEALANT TO BE APPLIED AFTER INSTALLATION

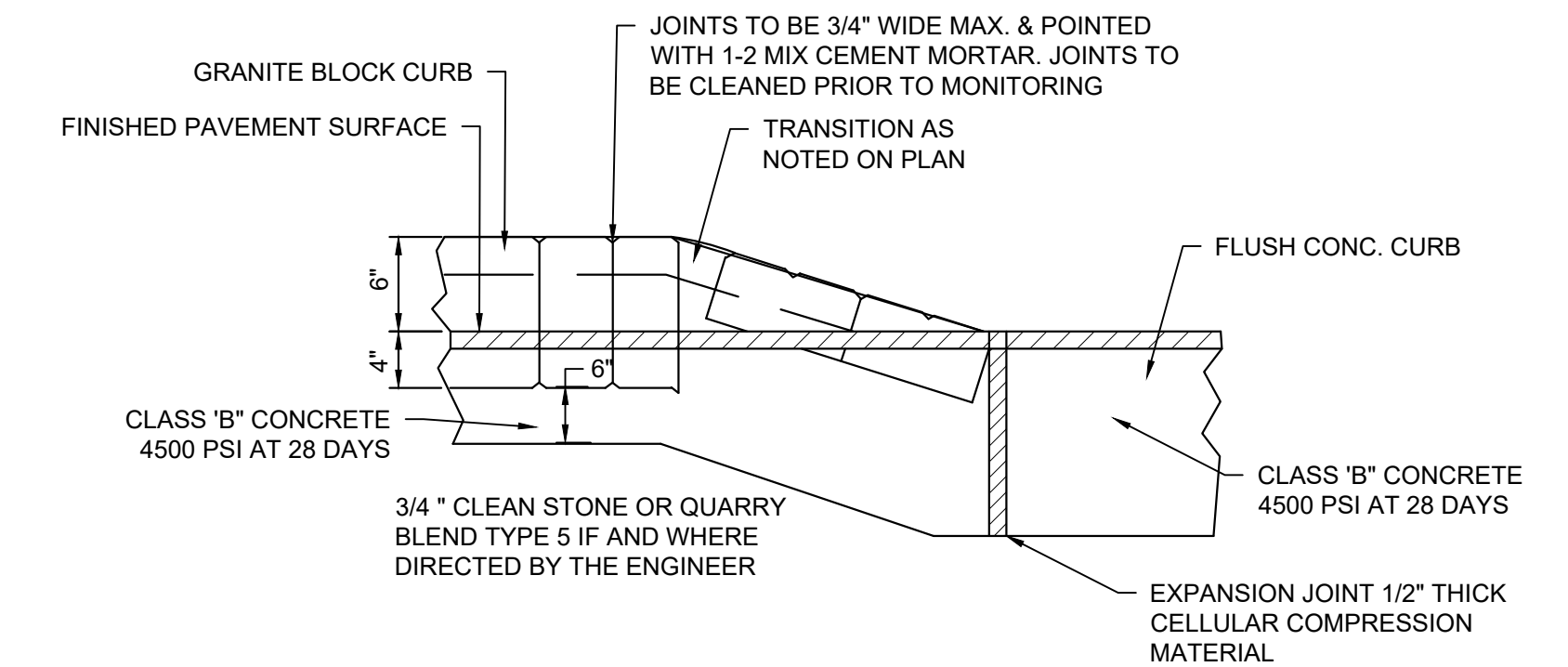
2 BRICK PAVER WALK DETAIL

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3 GRANITE BLOCK CURB DETAIL

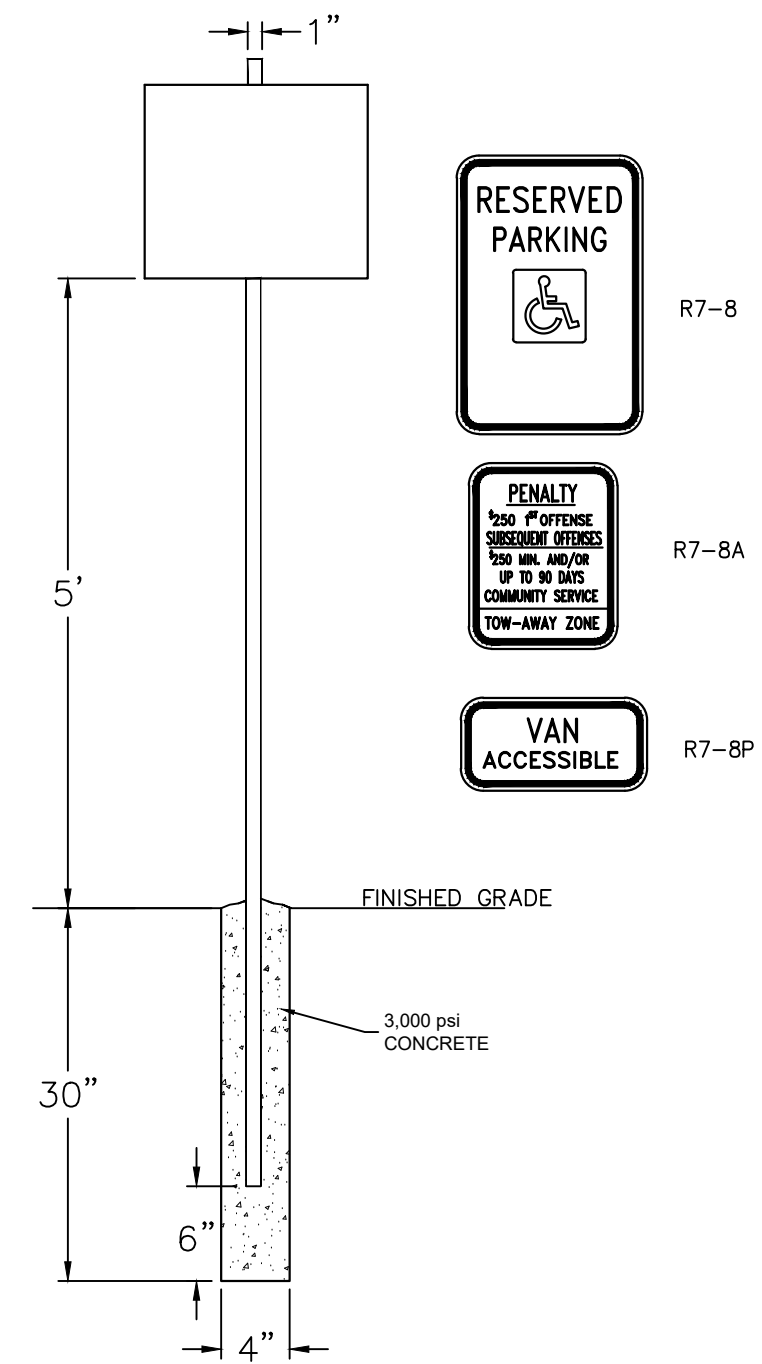
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4 FLUSHED CONCRETE/GRANITE BLOCK TRANSITION

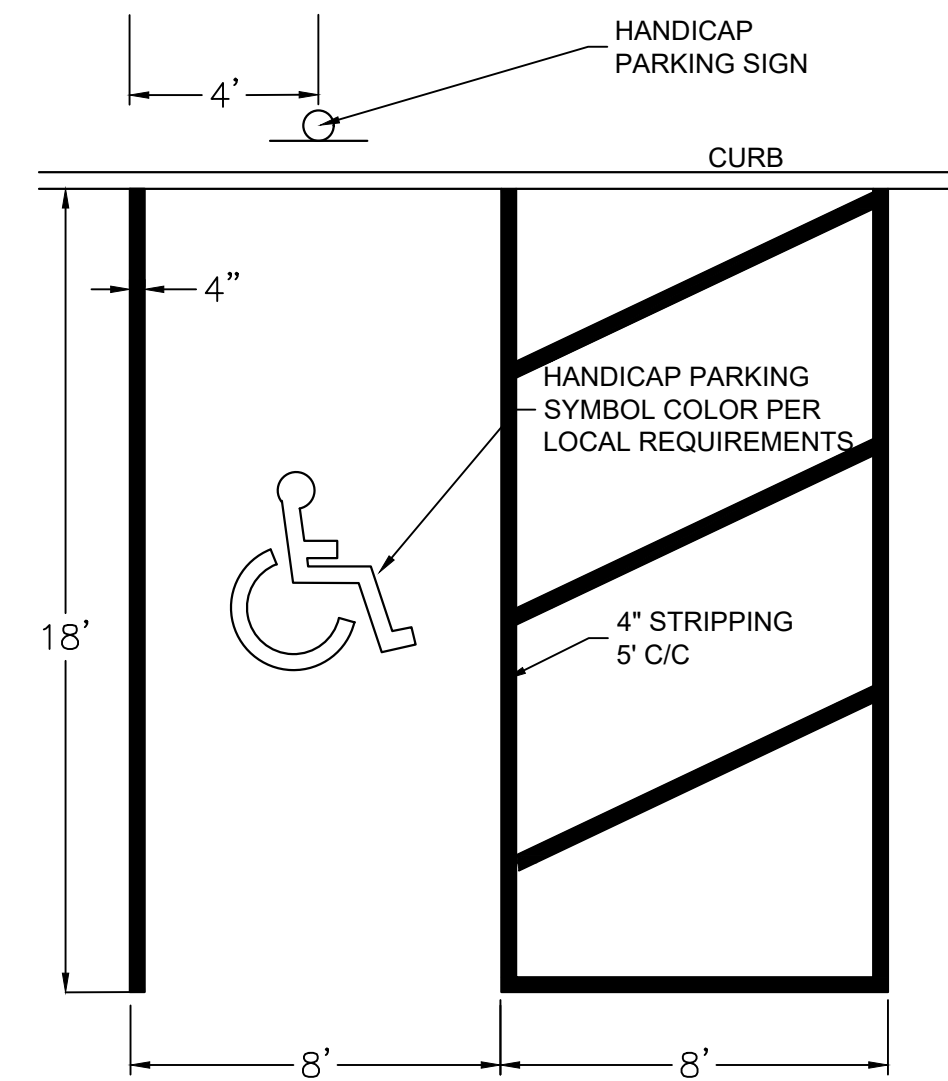
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- NOTES:
1. ALL CONCRETE IS TO BE PROPERLY CURED USING A CURING COMPOUND, SALT HAY, BURLAP, OR OTHER METHOD ACCEPTABLE TO TOWNSHIP ENGINEER.
 2. CONCRETE SLUMP TO BE 3" (± 1"), OR AS DIRECTED BY THE TOWNSHIP ENGINEER.
 3. A HALF INCH EXPANSION JOINT OF A NON EXTRUDABLE, BITUMINOUS MATERIAL SHALL BE PLACED 20' ON CENTER.
 4. CONTRACTORS TO NOTIFY TOWNSHIP ENGINEER 24 HOUR PRIOR TO POURING.



5 ADA PARKING SIGN DETAIL

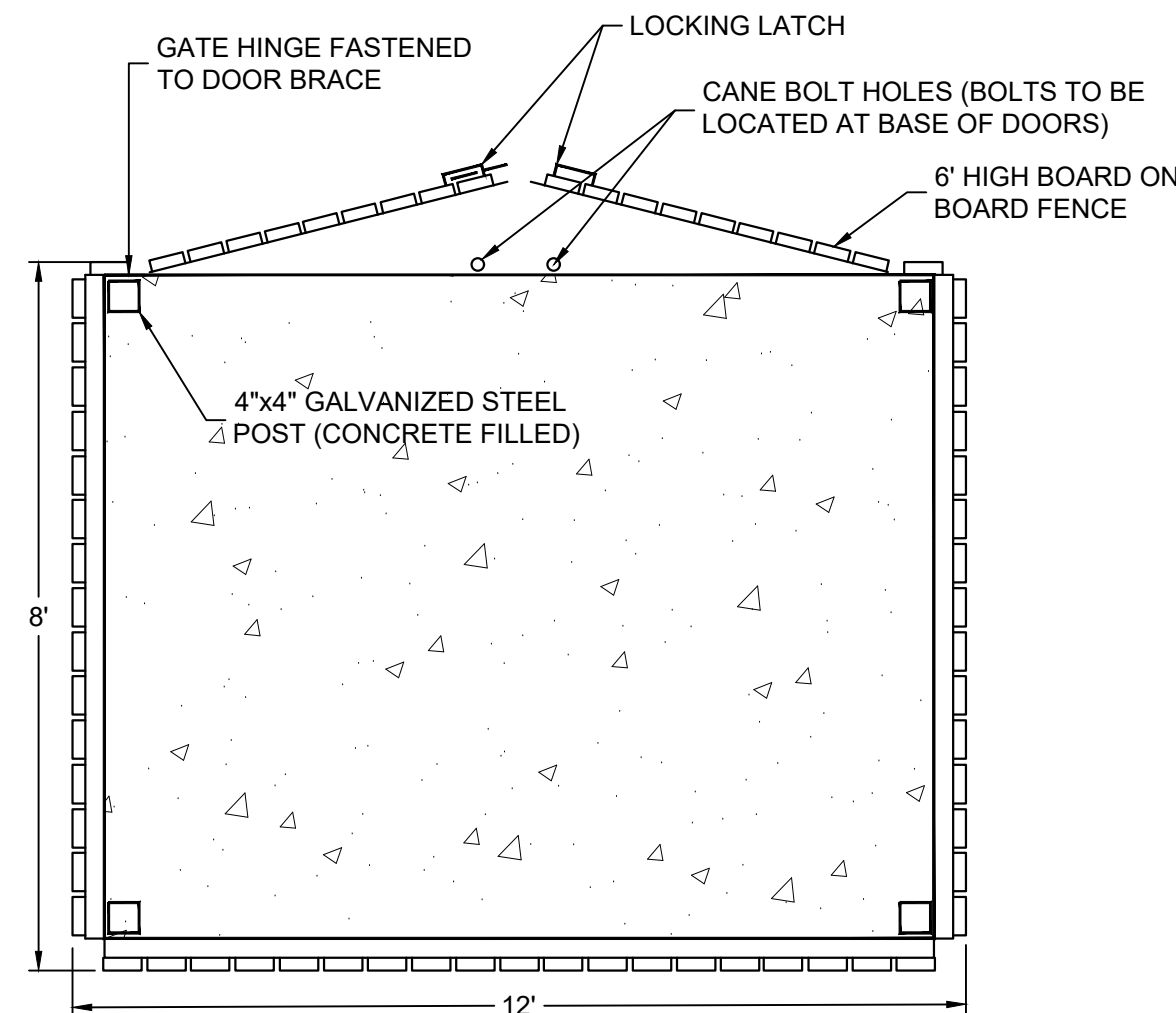
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NOTES: SEE PLAN FOR PARKING SPACE DIMENSION AND LOCATION

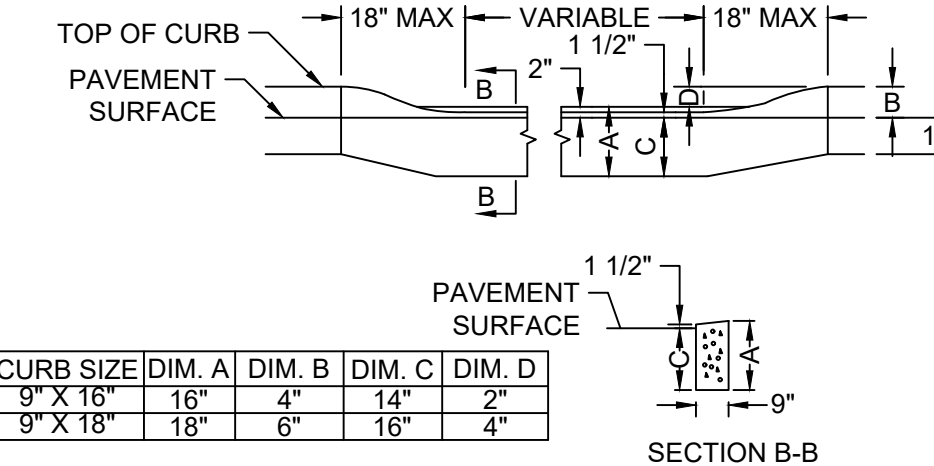
6 ADA PARKING STALL DETAIL

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7 TRASH ENCLOSURE DETAIL

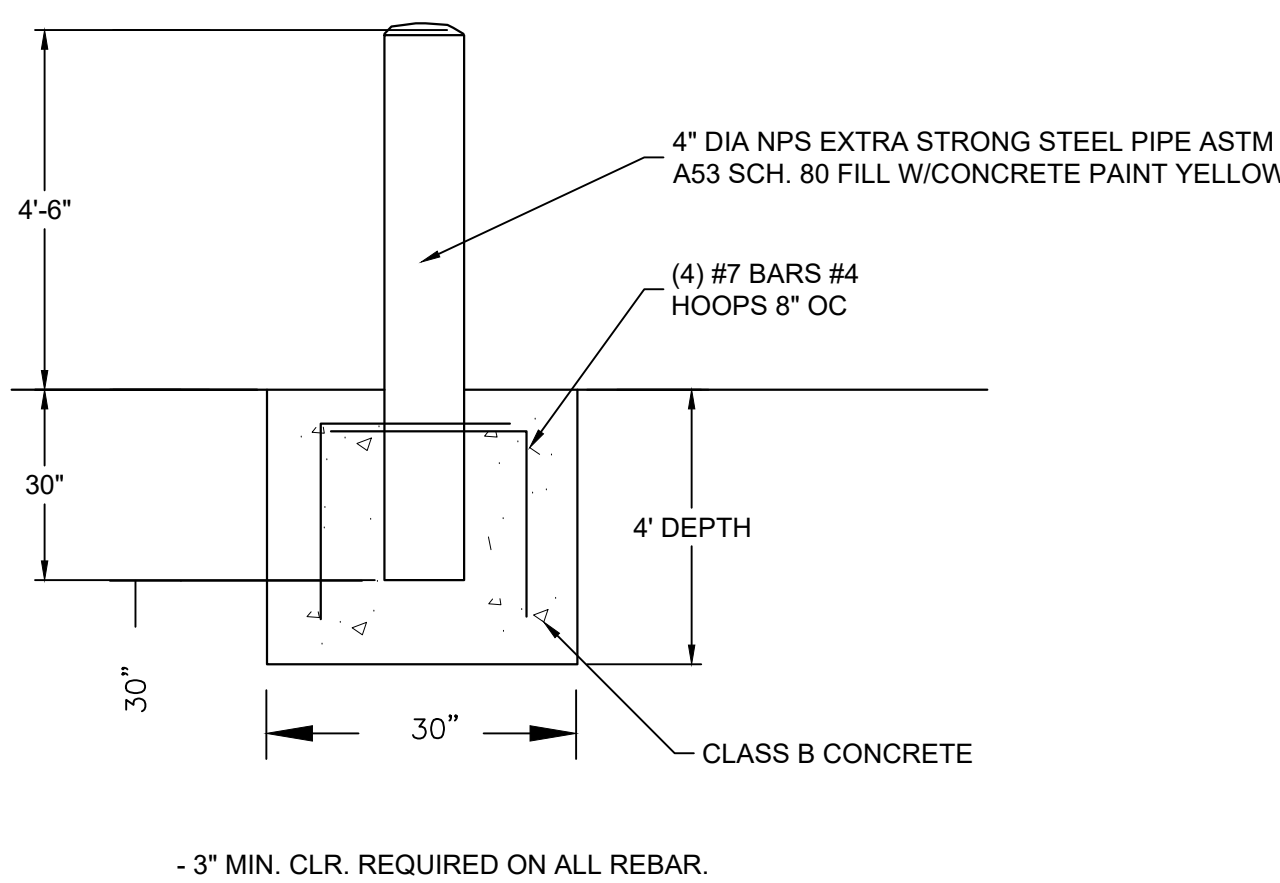
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CURB SIZE	DIM. A	DIM. B	DIM. C	DIM. D
9" X 16"	16"	4"	14"	2"
9" X 18"	18"	6"	16"	4"

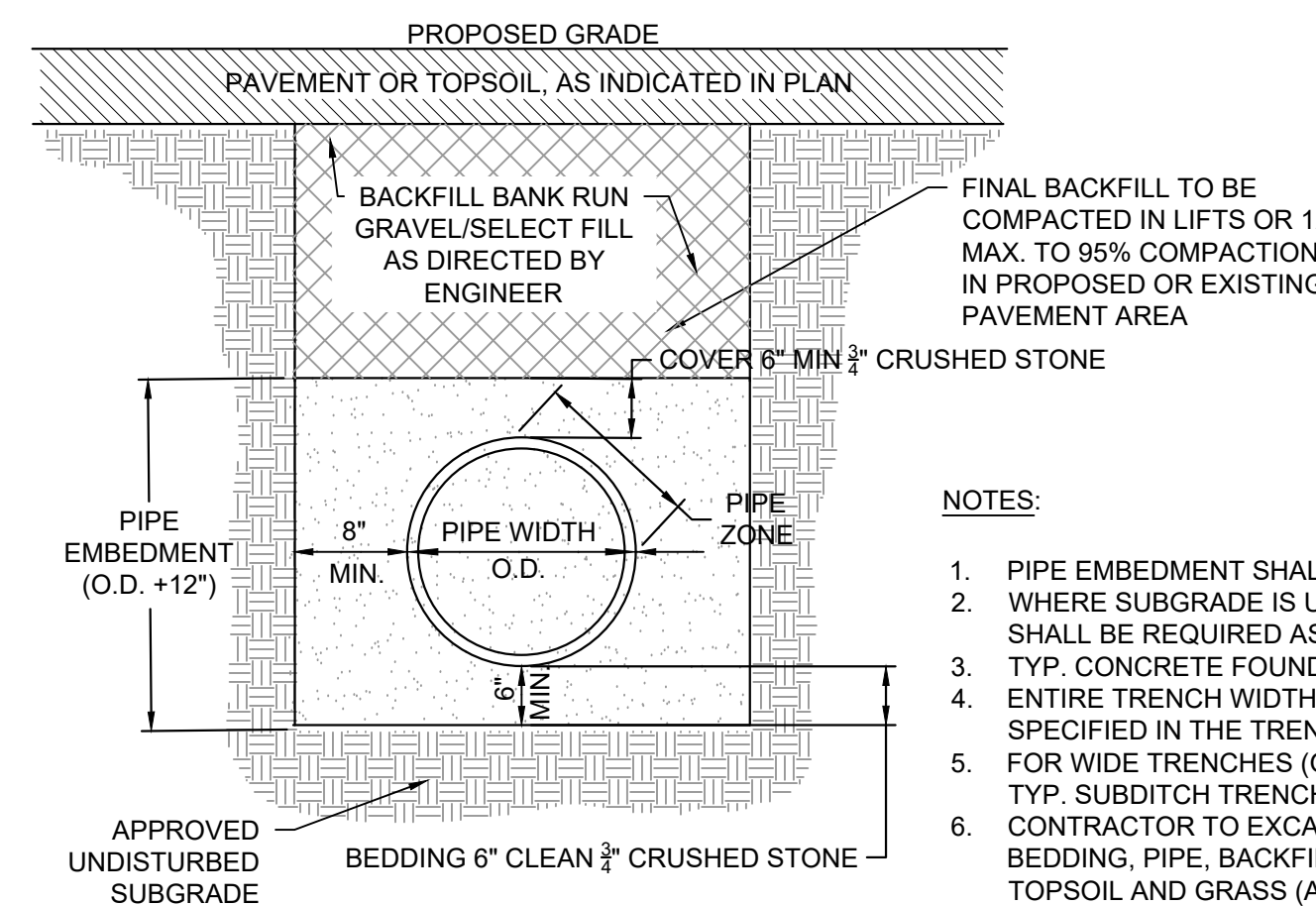
8 METHOD OF DEPRESSING CURB AT DRIVEWAY DETAIL

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9 4" BOLLARD DETAIL

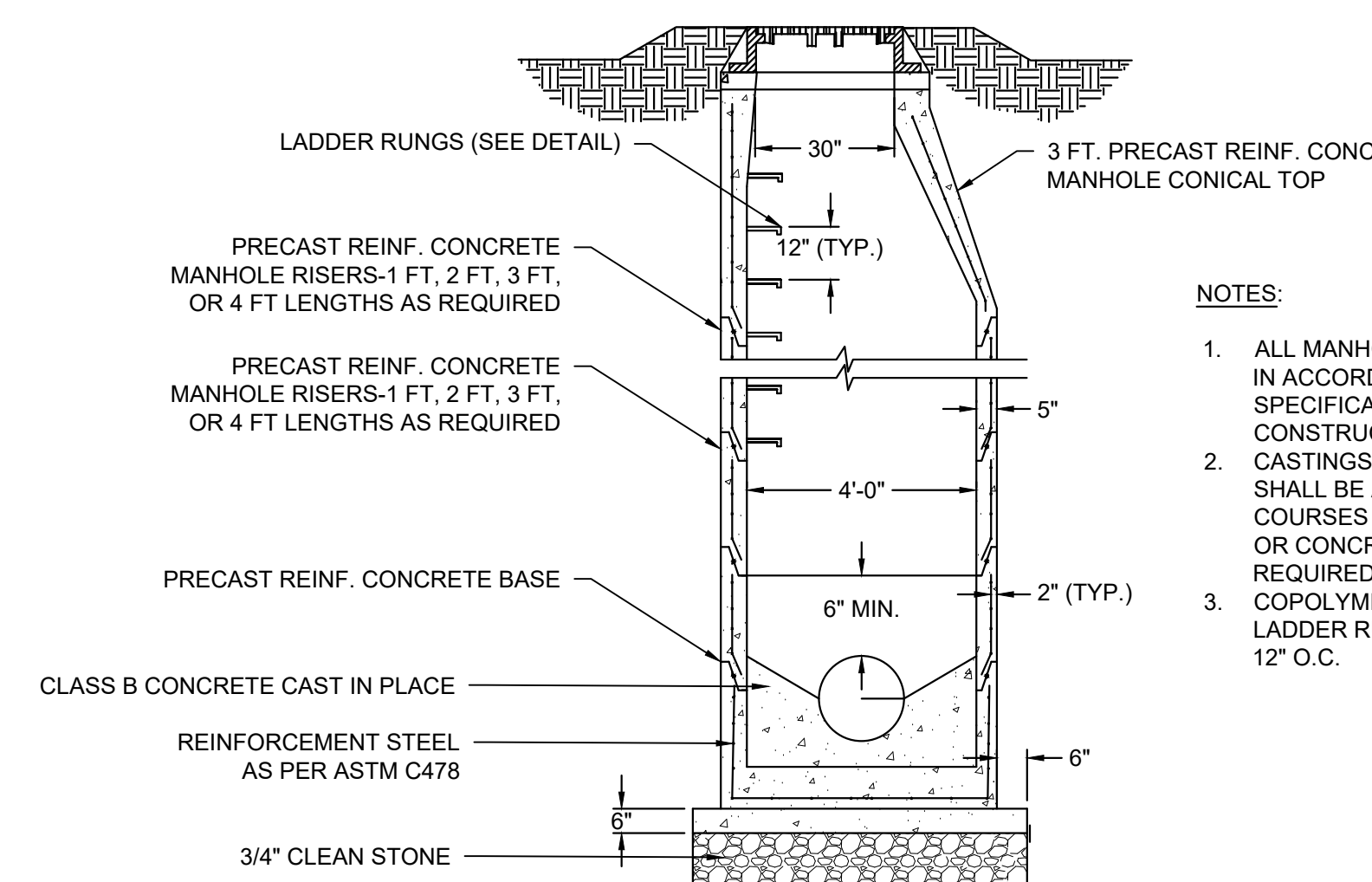
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- NOTES:
1. PIPE EMBEDMENT SHALL BE 3/4" CLEAN CRUSHED STONE WHERE SUBGRADE IS UNACCEPTABLE FOUNDATION SHALL BE REQUIRED AS SPECIFIED BY THE ENGINEER
 2. TYP. CONCRETE FOUNDATION IS SPECIFIED BELOW.
 3. ENTIRE TRENCH WIDTH SHALL BE BACKFILLED AS SPECIFIED IN THE TRENCH DETAIL ABOVE.
 4. FOR WIDE TRENCHES (GREATER THAN 6 PIPE DIA.) SEE TYP. SUBDITCH TRENCH DETAIL BELOW.
 5. CONTRACTOR TO EXCAVATE TRENCH, INSTALL BEDDING, PIPE, BACKFILL AND INSTALL PAVEMENT OR TOPSOIL AND GRASS (AS SPECIFIED IN PLAN)

10 RCP STORM PIPE DETAIL

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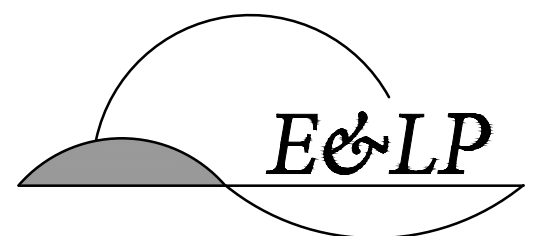
- NOTES:
1. ALL MANHOLES SHALL BE CONSTRUCTED IN ACCORDANCE WITH CURRENT NJDOT SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, AND ITS AMENDMENTS.
 2. CASTINGS OF PRECAST MANHOLES SHALL BE ADJUSTED TO GRADE WITH COURSES OF BRICK, CONCRETE BLOCK, OR CONCRETE GRADING RINGS AS REQUIRED. 12 INCHES MAXIMUM.
 3. COPOLYMER POLYPROPYLENE PLASTIC LADDER RUNGS SHALL BE INSTALLED AT 12" O.C.

11 PRECAST STANDARD STORM MANHOLE

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- NOTES:
1. THIS SET OF PLANS HAS BEEN PREPARED FOR THE PURPOSES OF MUNICIPAL AND AGENCY APPROVAL. THIS SET OF PLANS SHALL NOT BE UTILIZED FOR CONSTRUCTION DOCUMENTS UNTIL ALL CONDITIONS OF APPROVAL HAVE BEEN SATISFIED AND EACH DRAWING HAS BEEN MARKED "ISSUED FOR CONSTRUCTION."

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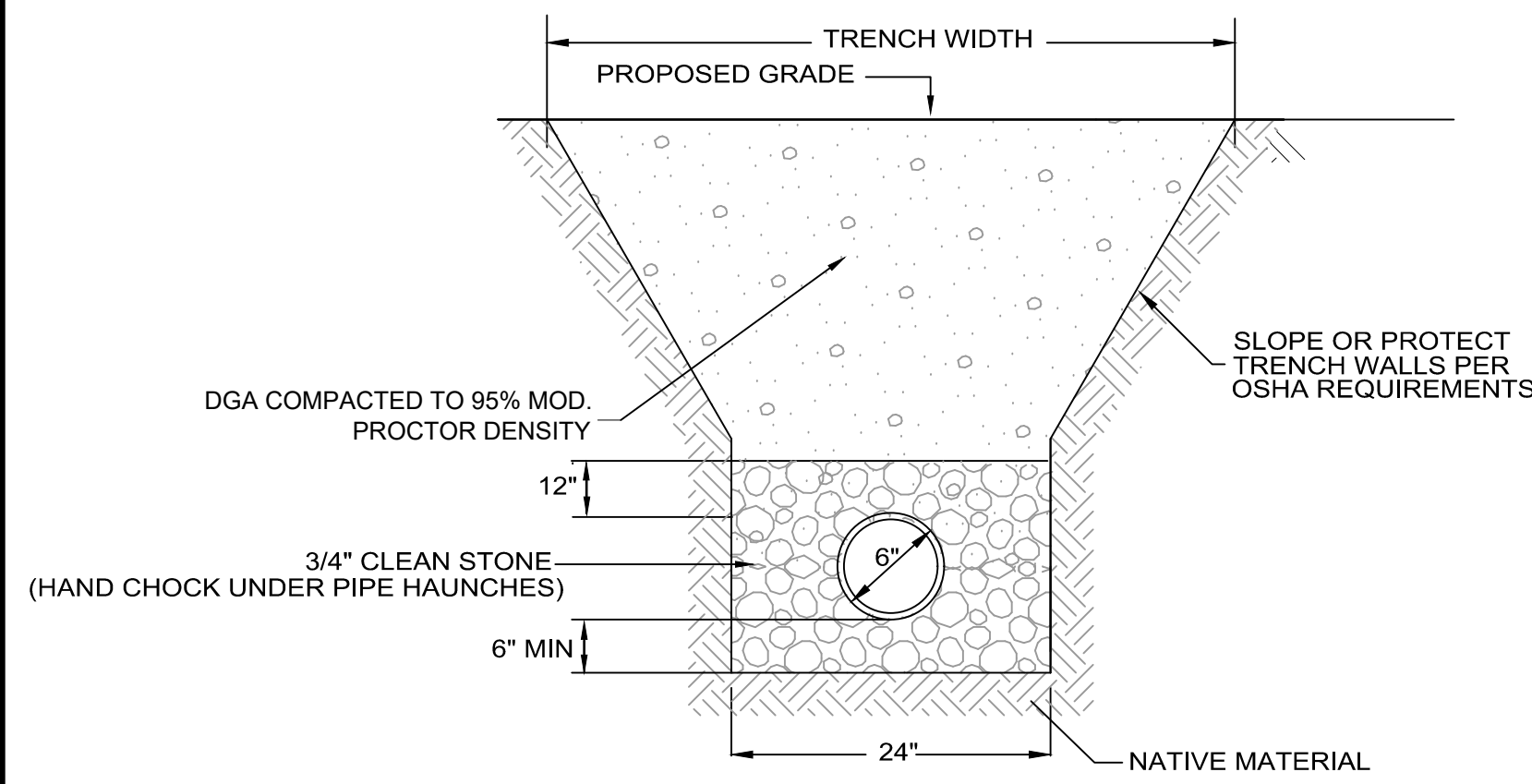
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1	REV. PER ENGINEER CERTIFICATION	EM	10/22/19

6/23/2020 DATE
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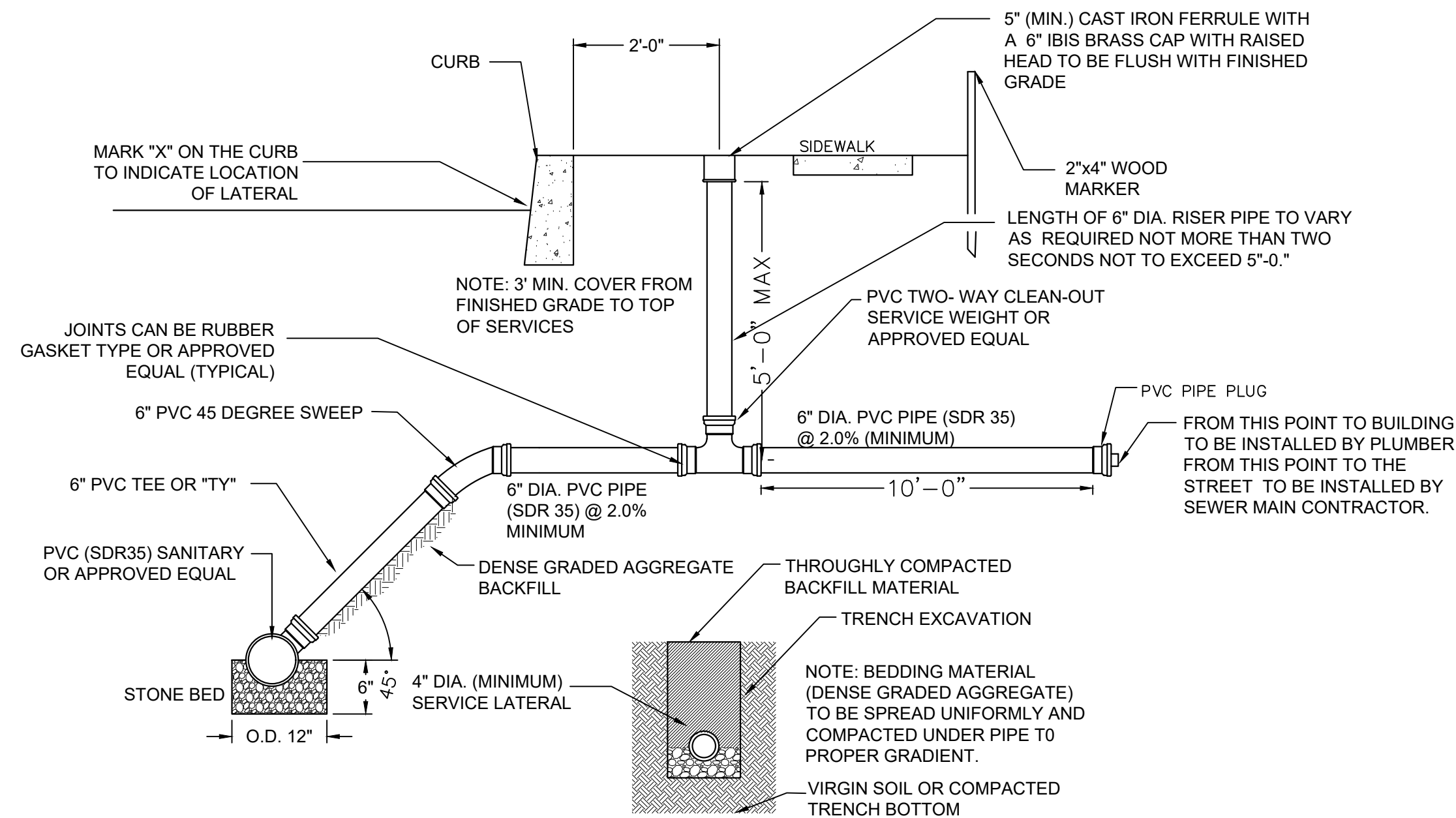
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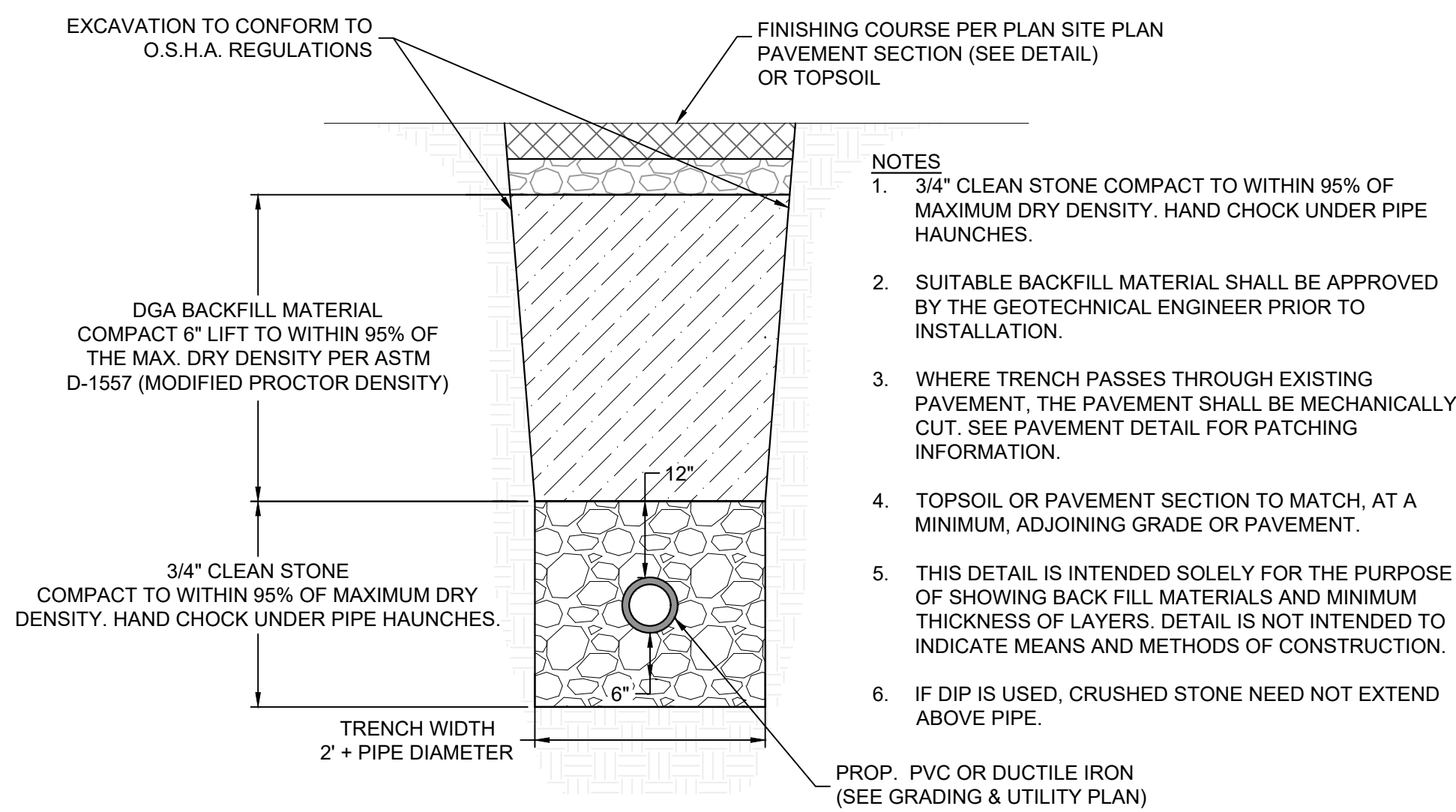
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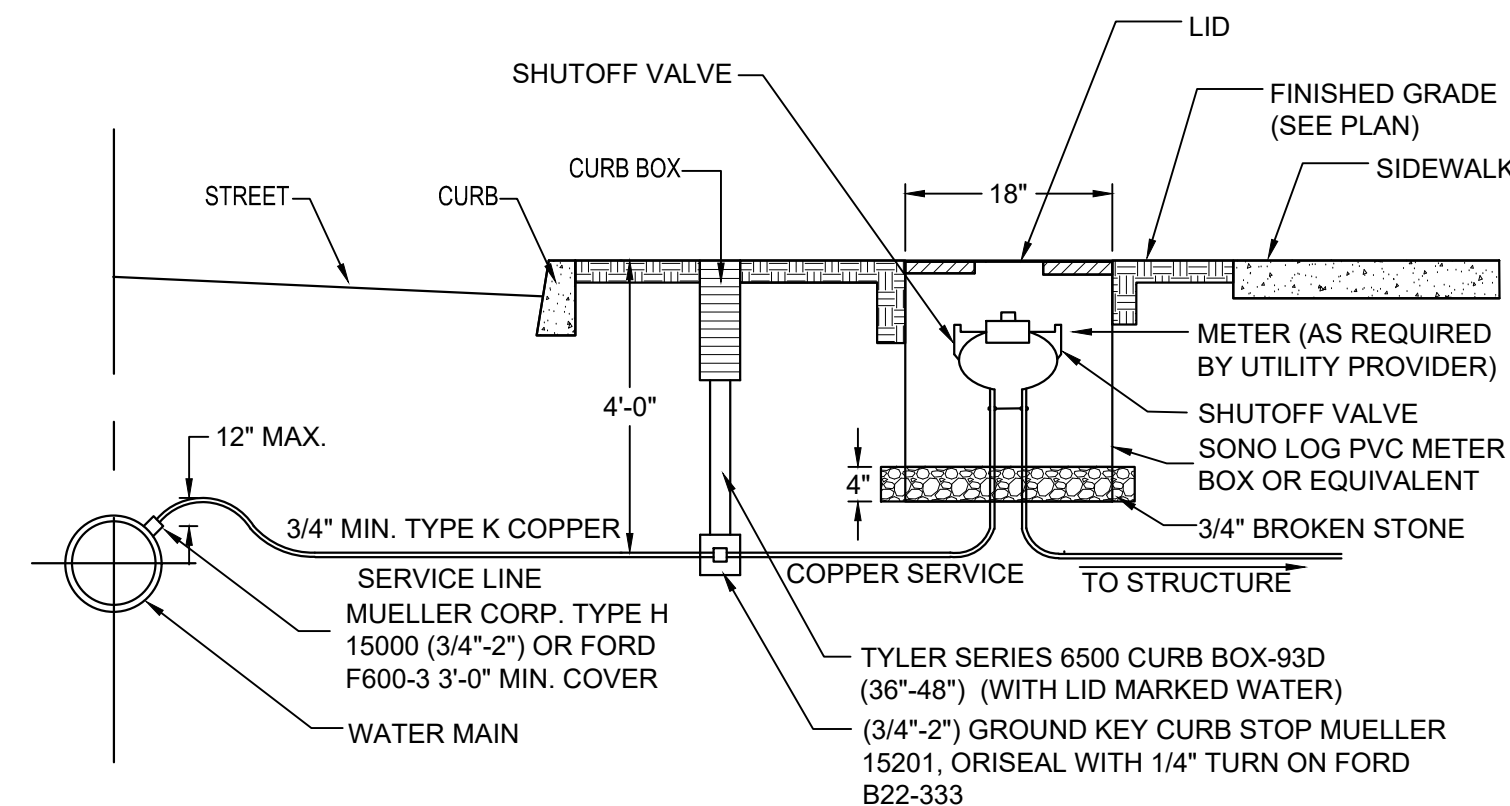
12 PVC SANITARY SEWER LATERAL TRENCH
NTS



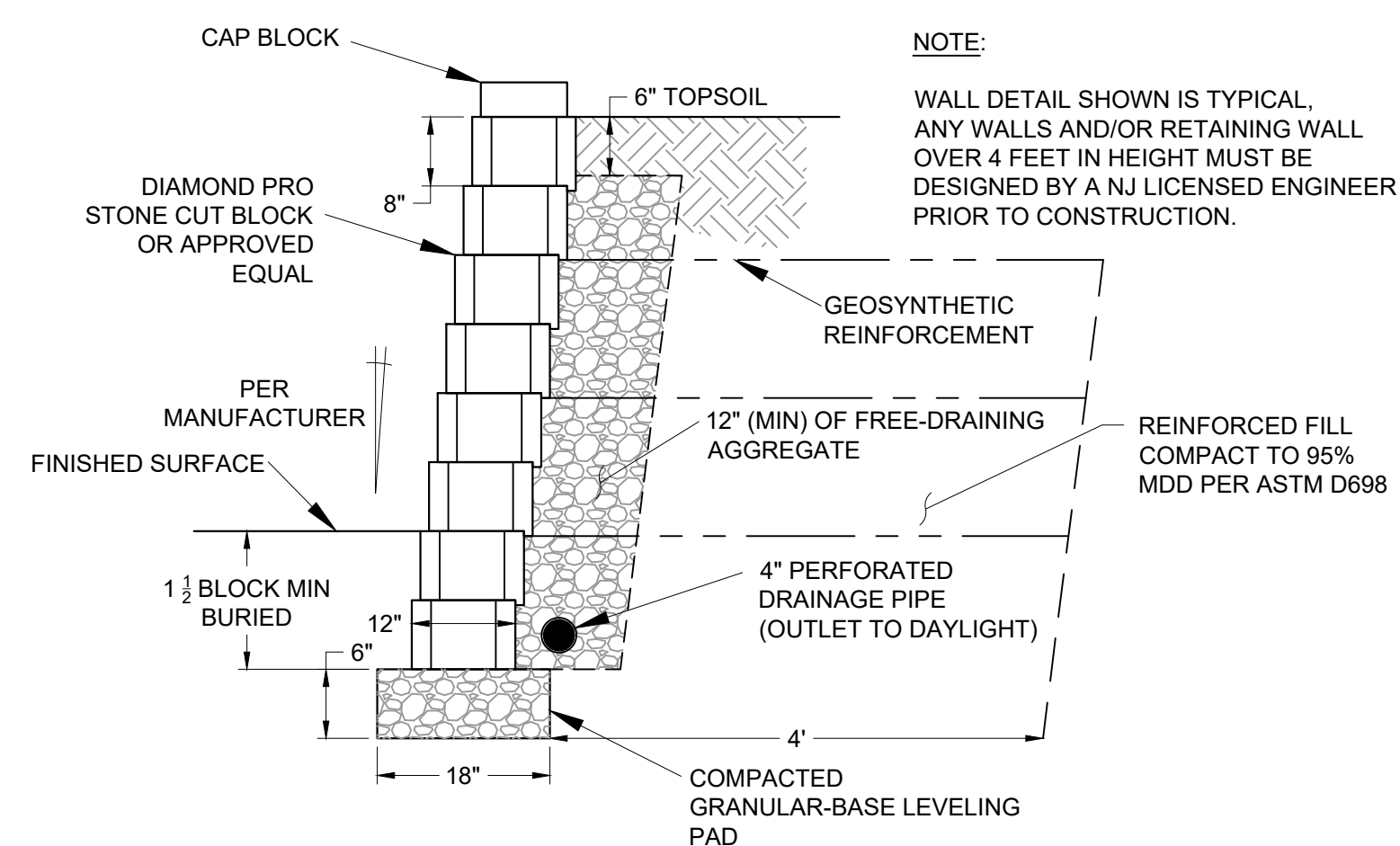
13 TYPICAL SANITARY LATERAL DETAIL
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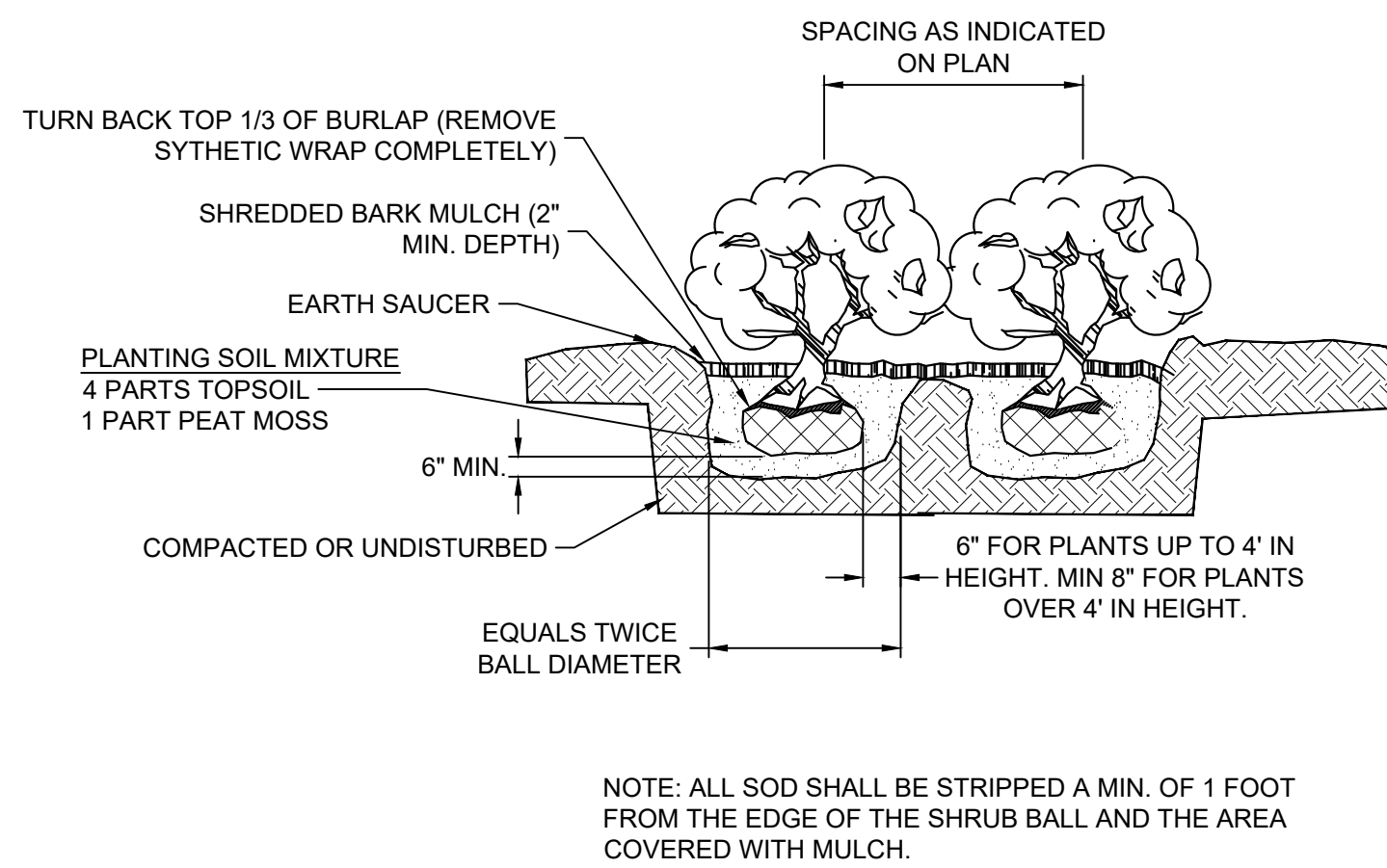
16 WATER SERVICE TRENCH DETAIL
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17 WATER SERVICE DETAIL
NTS

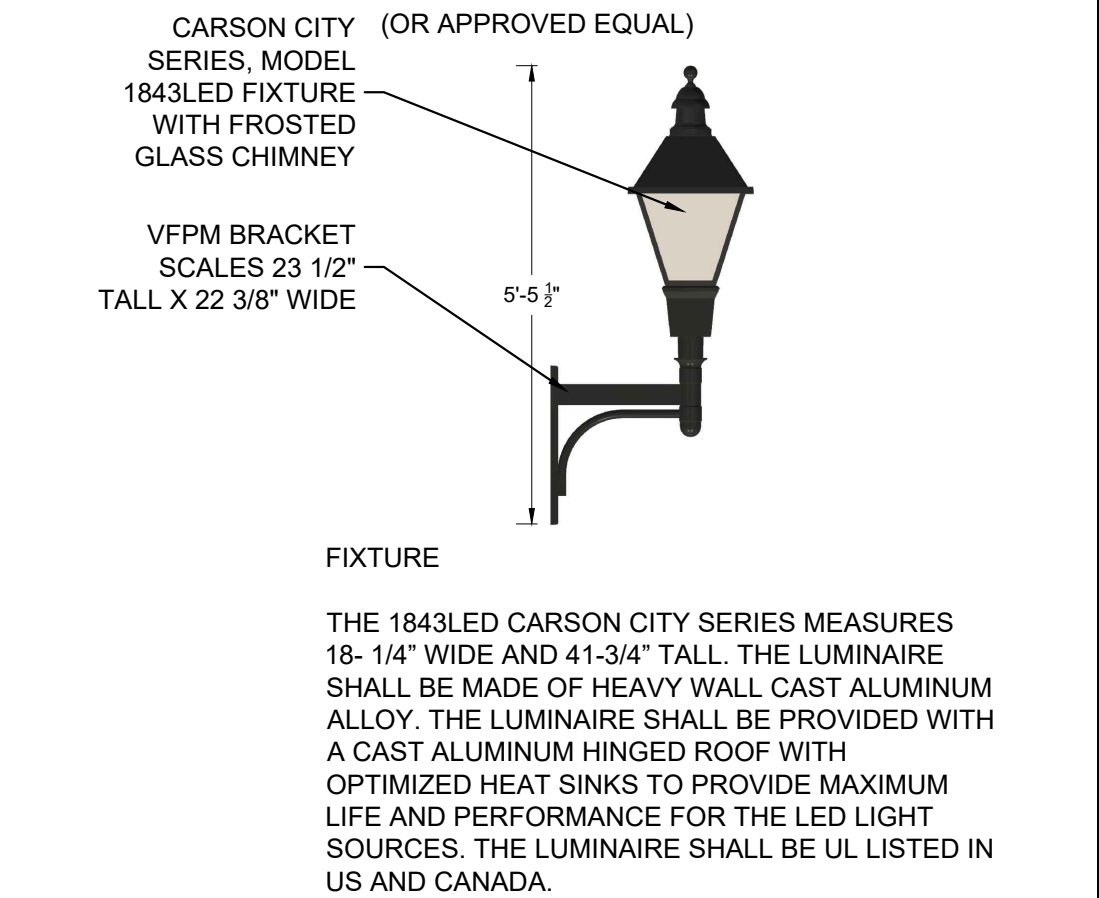
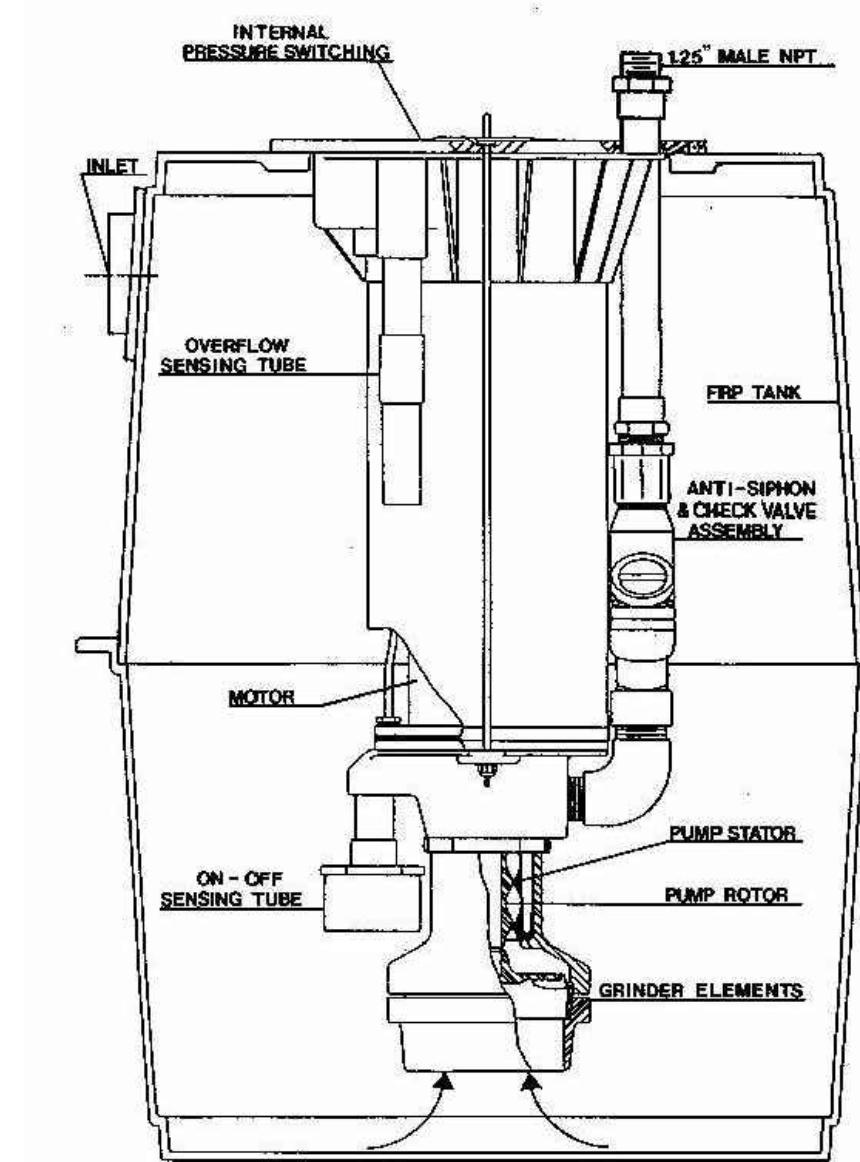


18 TYPICAL MODULAR BLOCK RETAINING WALL
NTS



19 TYPICAL SHRUB PLANTING
NTS

BASIC ENVIRONMENT ONE GRINDER PUMP



15 WALL-MOUNTED FIXTURE DETAIL
NTS

NOTE:
1. FINAL DESIGN AND DIMENSIONS OF GRINDER PUMP TO BE PROVIDED AND APPROVED BY BOROUGH ENGINEER PRIOR TO ISSUANCE OF BUILDING PERMIT.

14 TYPICAL E-ONE PUMP DETAIL
NTS

E250LED-887B / E260LED-887B EURO LED LIGHTED BOLLARD SPECIFICATIONS
(OR APPROVED EQUAL)

GENERAL
THE MODELS E250LED-887B/E260LED-887B DECORATIVE EURO LIGHTED BOLLARDS ARE SMALL SCALE, CONTEMPORARY DESIGNS. THEY FEATURE A MULTI-TUBE CYLINDRICAL BODY, DECORATIVE ALUMINUM CAGE AND DOME ROOF.

CONSTRUCTION

THE BOLLARD BASE SHAFT SHALL CONSIST OF A 5" DIAMETER ASTM 6061 EXTRUDED ALUMINUM TUBING HAVING A WALL THICKNESS OF 1/4" AND TEMPERED TO T6 CONDITION. THE ANCHOR FOOT BASE SHALL BE 1178" DIAMETER AND MADE OF HEAVY WALL, 356 ALLOY CAST ALUMINUM AND SHALL BE VERTICALLY FASTENED TO THE BOLLARD HOUSING SHAFT. IT SHALL HAVE A 5/8" THICK FLOOR CAST AS AN INTEGRAL PART OF THE THE MAXIMUM OVERALL HEIGHT SHALL BE 50". THE LUMINAIRE SHALL BE SUPPLIED WITH LINE-GROUND, LINE-NEUTRAL AND NEUTRAL-GROUND ELECTRICAL SURGE PROTECTION IN ACCORDANCE WITH IEEE/ANSI C62.41.2 GUIDELINES. THE BOLLARD SHALL BE U.L. OR E.T.L. LISTED IN U.S. AND CANADA. THE BOLLARD HOUSING SHALL BE DIE-CAST ALUMINUM ALLOY FOR HIGH TENSILE STRENGTH. OVERALL DIAMETER SHALL BE 13". THE HOUSING SHALL BE AN INTEGRAL PART OF THE BASE SHAFT TO PREVENT WATER AND DUST ENTRY INTO THE ENCLOSURE. THE E260LED-887B DIFFUSER SHALL BE MADE FROM VANDAL RESISTANT CLEAR (CA)OR FROSTED ACRYLIC (FA). THE E250LED/FLD SHALL HAVE A FLAT DIFFUSE ACRYLIC LENS COVERING THE LED ARRAYS.

DRIVER

THE LED DRIVER SHALL BE SECURELY MOUNTED INSIDE THE FITTER, FOR OPTIMIZED DRIVER PERFORMANCE AND LONGEVITY. THE LED DRIVER SHALL BE SUPPLIED WITH A QUICK-DISCONNECT ELECTRICAL CONNECTOR ON THE POWER SUPPLY, PROVIDING EASY POWER CONNECTIONS AND FIXTURE INSTALLATION. THE DRIVER SHALL BE A DC VOLTAGE OUTPUT, CONSTANT CURRENT DESIGN, 50/60 HZ.

LIGHT SOURCES

THE LUMINAIRE SHALL USE HIGH OUTPUT, HIGH BRIGHTNESS LEDS. THE LEDS SHALL BE MOUNTED IN ARRAYS, ON PRINTED CIRCUIT BOARDS DESIGNED TO MAXIMIZE HEAT TRANSFER TO THE HEAT SINK SURFACE. THE LEDS SHALL BE ATTACHED TO THE PRINTED CIRCUIT BOARD WITH NOT LESS THAN 90% PURE SILVER TO INSURE OPTIMAL ELECTRICAL AND THERMAL CONDUCTIVITY. THE LEDS AND PRINTED CIRCUIT BOARDS SHALL BE PROTECTED FROM MOISTURE AND CORROSION BY A CONFORMAL COATING OF 1 TO 3 MILS. THE LEDS AND PRINTED CIRCUIT BOARD CONSTRUCTION SHALL BE ENVIRONMENTALLY FRIENDLY AND 100% RECYCLABLE. THEY SHALL NOT CONTAIN LEAD, MERCURY OR ANY OTHER HAZARDOUS SUBSTANCES AND SHALL BE ROHS COMPLIANT. THE LED LIFE RATING DATA SHALL BE DETERMINED IN ACCORDANCE WITH IESNA LM-80.

FINISH

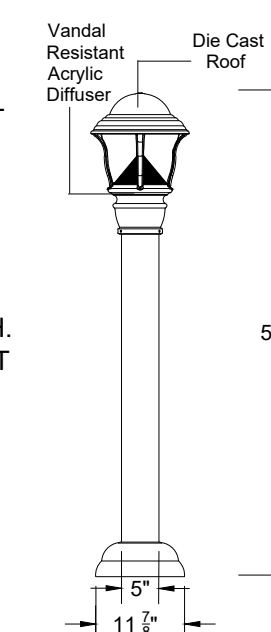
PRIOR TO COATING, THE LUMINAIRE SHALL BE CHEMICALLY CLEANED AND ETCHED IN A 5-STAGE WASHING SYSTEM WHICH INCLUDES ALKALINE CLEANING, RINSING, PHOSPHORIC ETCHING, REVERSE-OSMOSIS WATER RINSING AND NON-CHROME SEALING TO ENSURE CORROSION RESISTANCE AND EXCELLENT ADHESION FOR THE FINISH COAT. THE FINISH COAT SHALL BE AN ELECTROSTATICALLY APPLIED SEMI-GLOSS, SUPER DURABLE POLYESTER POWDER COAT, BAKED ON AT 400°F, TO PROVIDE A DURABLE, COLOR RETENTIVE FINISH. *THE (VERDE GREEN OR SWEDISH IRON) FINISH SHALL BE HAND-BRUSHED USING A 3-STEP PROCESS. *(OPTION)

INSTALLATION

THREE, HOT-DIPPED GALVANIZED "L" TYPE ANCHOR BOLTS SHALL BE PROVIDED WITH THE POST FOR BOLLARD ANCHORAGE.

WARRANTY

THE LUMINAIRE SHALL BE FREE FROM ALL DEFECTS IN MATERIALS AND WORKMANSHIP FOR A PERIOD OF SEVEN (7) YEARS FROM THE DATE OF MANUFACTURE. THE LUMINAIRE MANUFACTURER SHALL WARRANT THE LED BOARDS/SYSTEM, DURING THE STATED WARRANTY PERIOD, AGAINST FAILURE DEFINED AS MORE THAN THREE SIMULTANEOUS NON-OPERATING LEDS. THE DRIVER SHALL BE WARRANTED FOR SEVEN (7) YEARS.

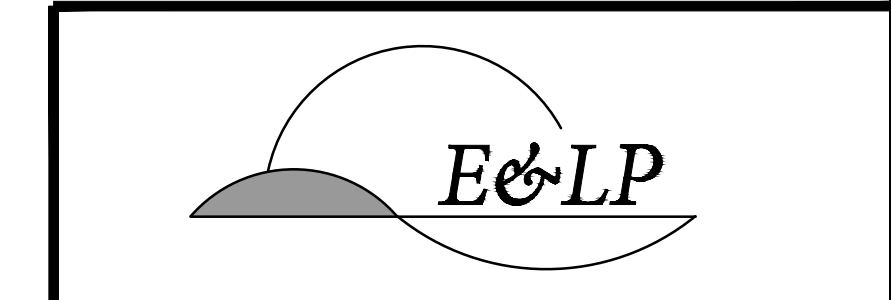


MODELS
• E260LED
DRIVERS
• ML-120 - 277
OPTIONS
• PEC1
STANDARD FINISHES*
• BKT Black Textured
LIGHT SOURCES
Type V Optics
• 3ARC45T5
BOLLARD MODEL LIGHT SOURCE DRIVER OPTIONS FINISH
E260FA-887B / 3ARC45T5 / ML / PEC1 / BKT
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Email: info@sternberglighting.com 12-13

20 BOLLARD LIGHTING DETAIL
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